



MORGAN COUNTY COMMISSION A G E N D A

November 03, 2020

10:00 AM

150 East Washington Street, Madison, GA
2nd Floor Conference Room

Pledge and Invocation

Agenda Approval

Presentations

1. Scheduled Public Comment-Mike Conrads on Behalf of MMLA

Minutes

2. October 06, 2020 Minutes
3. October 20, 2020 Minutes

Consent Agenda

4. Motion to accept as information the October 2020 payables to include General Fund in the amount of \$667,963.06, TSPLOST in the amount of \$200,276.21, SPLOST in the amount of \$213,246.45, General Fund electronic payments in the amount of \$30,793.32 and the October 2020 financials.

Time Certain

11:00 AM Planning Commission

Planning Commission New Business

5. Kiersten Lurer, on behalf of Verizon, is requesting conditional use approval to locate a telecommunications tower on 149.6 acres located on Paxson Dairy Road (Tax Parcel 007-026)
6. Chadwick H. & Ana R. Spinks are requesting a Zoning Map Amendment for 31.39 acres located on Eatonton Highway, from Agricultural (AG) to General Commercial (C2)(Tax Parcel 046-00SB)

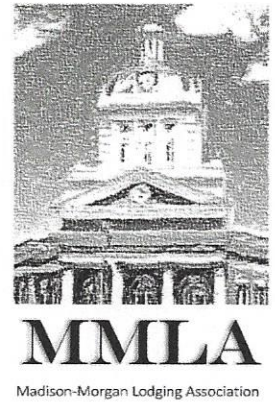
New Business

7. Purchase of Extrication Equipment
8. Purchase of New Vehicles
9. Purchase of New Patrol Vehicles
10. County Manager Report
11. Public Comments on Agenda Items

EXECUTIVE SESSION

12. Potential Litigation

DATE: October 9, 2020
TO: City of Madison, Morgan County & Morgan County Charter School System
FROM: Madison-Morgan Lodging Association, Inc.
RE: **2020 Ad Valorem - Property Tax - Reduction Request**



Council Members, Commissioners and Board Members:

2020 has been, and continues to be, a tough year for all of us. Especially hard hit has been the travel industry and, in particular, the lodging businesses in Morgan County. We come to you today asking for a reduction of our Ad Valorem tax commonly known as our property tax. In polling our members, year-to-date revenues are down between 45% - 65% in 2020 versus 2019. The collections of the Hotel/Motel Tax by the City of Madison and Morgan County should readily confirm this horrific trend. Our worst month was April when many properties were completely closed due to the Pandemic. Starting from basically zero, our business is SLOWLY recovering but returning to 2019 levels is a mid to late 2021 proposition at best.

Like the airlines, our businesses continue to bleed cash as we attempt to remain open and pay our employees. To further exacerbate the situation for our industry, many of our larger properties are franchisees with bank loans that have had their payments deferred (thankfully!) for a few months – but now those payments, in TOTAL, are coming due and the banks have not been willing to negotiate further deferment. Everyone had hopes that this pandemic would be short lived – maybe three months at most. For our industry, its looking like an 18-month recovery at best. Our fear is that some of our members may not survive as these financial obligations overwhelm the paltry resources remaining.

We come to you to ask for a onetime 25% reduction of our 2020 Ad Valorem taxes to assist us in remaining open, viable and available for business travelers, tourists, family, and friends to stay while visiting us and our community.

Thank you for your time and thoughtful consideration of our plea. We'll be following up with you next week but please feel free to contact me in the meantime with any questions.

Madison-Morgan Lodging Association, Inc.

A handwritten signature in blue ink, appearing to read 'Jeff Royal', is positioned above the typed name.

Jeff Royal
President
jeroyal@gmail.com
706-474-1033

C: Senator Burt Jones & Representative Dave Belton

Madison-Morgan Lodging Association
100% of Our Taxed* Members Support This Request

<u>Lodging Business</u>	<u>Address</u>	<u>City</u>
Brady Inn	250 N Second St	Madison
Burnt Pine Plantation	1161 Blackwell Rd	Newborn
Days Inn	2020 Eatonton Rd	Madison
Deerfield Inn & Suites	2080 Eatonton Rd.	Madison
Farmhouse Inn	1051 Meadow Lane	Madison
Firefly Bed & Breakfast	3071 Atlanta Hwy	Madison
Hampton Inn	2012 Eatonton Rd	Madison
Holiday Inn Express	1041 Ramada Lane	Madison
James Madison Inn	260 W Washington St	Madison
Kirby House	877 S Main St	Madison
Quality Inn	2001 Eatonton Rd	Madison
Red Roof Inn	1972 Eatonton Rd	Madison
Southern Cross Guest Ranch	1670 Bethany Church Rd	Madison
Super 8	2091 Eatonton Rd	Madison

* The Hard Labor Creek State Park is exempt from Ad Valorem tax and not considered a party to this request.

THE HONORABLE BOARD OF COUNTY COMMISSIONERS, MADISON, GEORGIA,
MET THIS DAY IN REGULAR SESSION.

MEETING WAS HELD ON THE SECOND FLOOR OF THE ADMINISTRATION BUILDING.

PRESENT: Chairman Philipp von Hanstein, Vice-Chair Ben Riden, Jr., Commissioners
Ronald H. Milton, Donald Harris and Andy A. Ainslie, Jr.

STAFF: County Manager Adam Mestres, Procurement Director Mark Williams, County
Attorney Christian Henry and staff member Kim Cox.

**The meeting was called to order at 10:00 a.m., followed by the Pledge of Allegiance and
Invocation.**

AGENDA APPROVAL

Motion made by Commissioner Harris, Seconded by Commissioner Milton to approve agenda
with the following addition: Executive-Personnel. Unanimously Approved.

MINUTES

September 01, 2020 Minutes

MOTION by Commissioner Harris, Seconded by Commissioner Milton to approve the
September 01, 2020 minutes as presented. Unanimously Approved.

September 15, 2020 Minutes

MOTION by Commissioner Harris, Seconded by Commissioner Riden to approve the
September 15, 2020 minutes as presented. Unanimously Approved.

CALENDARS

County Manager, Adam Mestres reviewed October-December 2020 calendars.

CONSENT AGENDA

Motion to accept as information the September 2020 payables to include General Fund in the
amount of \$450,866.93, TSPLOST in the amount of \$115,937.22, SPLOST in the amount of
\$53,028.06, General Fund electronic payments in the amount of \$279,848.41 and the September
2020 financials.

MOTION by Commissioner Harris, Seconded by Commissioner Riden to approve the consent
agenda as presented. Unanimously Approved.

**RESOLUTION TO APPLY FOR FUNDING FROM THE LAND AND WATER
CONSERVATION FUND**

Procurement Director, Mark Williams, presented a resolution to apply for a grant from Land and
Water Conservation Fund to fund 50% of the cost to rehabilitate the tennis courts on College
Drive.

MOTION by Commissioner Harris, Seconded by Commissioner Milton to approve the
resolution to apply for funding from the Land and Water Conservation Fund (2020-RES-009).
Unanimously Approved.

COUNTY MANAGER REPORT

County Manger, Adam Mestres presented a monthly overview of Morgan County government's
current projects and/or issues.

PUBLIC COMMENTS ON AGENDA ITEMS

Public comments were made by:

Gary Savage, Morgan County Resident

Eric Joyce, City of Madison Council Member

GINNY VANOOSTROM IS REQUESTING CONDITIONAL USE APPROVAL FOR AN ACCESSORY DWELLING ON 9.18 ACRES LOCATED AT 5361 SANDY CREEK ROAD (TAX PARCEL 009-023).

Senior Planner, Tara Cooner, presented a conditional use approval for an accessory dwelling on 9.18 acres located at 5361 Sandy Creek Road. The request is being made by property owner Ginny Vanoostrom. Cooner stated the applicant is requesting an accessory dwelling in a barn on the property, which has a non-profit event facility located on the property as well. The applicant remodeled an old store on the property a few years ago into a house, but no one has lived there. Vanoostrom wishes to live on the property but does not want to live in the remodeled store due to its location to roadway and intersection.

The proposed floor plan is 800 square feet, which meets the ordinance. The applicant plans to have the driveway come off Sandy Creek Road. The Planning Commission was concerned about the accessory dwelling meeting the ordinance requirement that the primary and accessory dwelling share a single electrical meter. This was due to the proposed distance between the buildings. The applicant stated the accessory dwelling location could be moved to accommodate this requirement.

The Planning Commission voted 6-1 to recommend approval of the conditional use with the condition that the primary and accessory dwelling must share electrical.

Chairman von Hanstein allowed proponents to speak:
No one spoke in favor of the requested text amendment.

Chairman von Hanstein allowed opponents to speak:
No one spoke against the requested text amendment.

MOTION by Commissioner Riden, seconded by Commissioner Harris to approve the request for the accessory dwelling, subject to the following conditions: the electrical meter must be shared between the primary and accessory dwelling, the driveway must come off of Sandy Creek Road and the accessory dwelling will not be tied to the event facility. Unanimously Approved.

JONATHON YATES, ON BEHALF OF DIAMOND COMMUNICATIONS, IS REQUESTING CONDITIONAL USE APPROVAL TO LOCATE A TELECOMMUNICATIONS TOWER ON 153 ACRES LOCATED AT 4831 EATONTON HIGHWAY (TAX PARCEL 055-043).

Senior Planner, Tara Cooner, presented a conditional use request to locate a telecommunications tower on 153 acres located at 4831 Eatonton Highway from Johnathan Yates on behalf of Diamond Communications. The application is for a 250' tall cell supporting tower on Eatonton Highway near Ponder Pines Road. The applicant stated the tower is necessary to improve wireless coverage in the area. Documentation submitted with the application addresses FFA approval, wind speed and coverage map. The applicant noted construction would take approximately sixty days and traffic to the site would be for maintenance eight to ten times per year.

The Planning Commission noted the poor cell service in many areas of the county and voted unanimously to recommend approval of the conditional use application for a telecommunications tower.

Chairman von Hanstein allowed proponents to speak:
Applicant, Johnathan Yates spoke in favor of the request.

Chairman von Hanstein allowed opponents to speak:
No one spoke against the requested text amendment.

MOTION by Commissioner Riden, seconded by Commissioner Harris to approve the telecommunications tower conditional use request as presented. Unanimously Approved.

REDEEMER CHURCH OF MADISON IS REQUESTING CONDITIONAL USE APPROVAL TO CONSTRUCT A PAVILION ON 80.94 ACRES LOCATED AT 1900 BETHANY ROAD (TAX PARCEL 045-024).

Redeemer Church of Madison is requesting a conditional use approval to construct a pavilion on the adjacent 80.94-acre property at 1900 Bethany Road, formerly known as Hilsman’s Dairy that was purchased in 2018. They are requesting to construct a 24’x48’ pavilion by one of the ponds.

The Planning Commission voted unanimously to recommend approval of the conditional use application for a pavilion on 1900 Bethany Road.

Chairman von Hanstein allowed proponents to speak:
No one spoke in favor of the requested text amendment.

Chairman von Hanstein allowed opponents to speak:
No one spoke against the requested text amendment.

MOTION by Commissioner Milton, seconded by Commissioner Harris to approve the conditional use to construct a pavilion at 1900 Bethany Road as presented. Unanimously Approved.

CROWN RIDGE HOMES, LLC IS REQUESTING CONDITIONAL USE APPROVAL FOR AN ACCESSORY DWELLING ON 2 ACRES LOCATED AT 2652 SANDY CREEK ROAD (TAX PARCEL 026-141D).

Crown Ridge Homes, LLC is requesting a conditional use approval to include an accessory dwelling in a garage on a 2-acre parcel located at 2652 Sandy Creek Road. The primary dwelling for this location is under construction and although the builder is the applicant, the house has already been sold to a family from Atlanta. The accessory dwelling will be for the applicant’s in-laws, who are also moving here with the family. The square footage for the accessory dwelling meets the ordinance and there will be a shared driveway.

The Planning Commission voted unanimously to recommend approval of the conditional use application for an accessory dwelling at 2652 Sandy Creek Road.

Chairman von Hanstein allowed proponents to speak:
No one spoke in favor of the requested text amendment.

Chairman von Hanstein allowed opponents to speak:
No one spoke against the requested text amendment.

MOTION by Commissioner Riden, seconded by Commissioner Harris to approve the conditional use for an accessory dwelling at 2652 Sandy Creek Road as presented. Unanimously Approved.

MORGAN COUNTY PLANNING & DEVELOPMENT IS REQUESTING A TEXT AMENDMENT TO CHAPTER 7.26 TRANSMISSION TOWERS OF THE MORGAN COUNTY ZONING ORDINANCE.

Senior Planner, Tara Cooner, stated they are requesting a text amendment to Chapter 7.26 Transmission Towers. There are three proposed changes:

1. Title change from Transmission Towers to Telecommunications Towers
2. Change the maximum height of towers from 250’ to 300’
3. Allow R and LR districts telecommunication towers up to a height of 300’ as a conditional use following design review by and receipt of a building permit from the Director.

Chairman von Hanstein allowed proponents to speak:
No one spoke in favor of the requested text amendment.

Chairman von Hanstein allowed opponents to speak:
No one spoke against the requested text amendment.

MOTION by Commissioner Harris, seconded by Commissioner Ainslie to approve the text amendment to Chapter 7.26 Transmission Towers of the Morgan County Zoning Ordinance. Unanimously Approved.

MOTION by Commissioner Ainslie, seconded by Commissioner Riden to exit regular session and adjourn. Unanimously Approved.

Philipp von Hanstein, Chairman

ATTEST:

Leslie Brandt, County Clerk

Unofficial Draft Minutes

THE HONORABLE BOARD OF COUNTY COMMISSIONERS, MADISON, GEORGIA,
MET THIS DAY IN REGULAR SESSION.

MEETING WAS HELD ON THE SECOND FLOOR OF THE ADMINISTRATION BUILDING.

PRESENT: Chairman Philipp von Hanstein, Vice-Chair Ben Riden, Jr., Commissioners Ronald H. Milton, Donald Harris and Andy A. Ainslie, Jr.

STAFF: County Manager Adam Mestres, Procurement Director Mark Williams, County Attorney Christian Henry, and County Clerk Leslie Brandt.

The meeting was called to order at 5:00 p.m., followed by the Pledge of Allegiance and Invocation.

AGENDA APPROVAL

Motion by Commissioner Ainslie, Seconded by Commissioner Harris to approve agenda with the following changes: remove item #5 IT Camera Project and add Buckhead Right-of-Way Encroachment as item #5 under new business. Unanimously Approved.

RV HARDSHIP REQUEST-TERRY BOLES

Terry Boles spoke before the Board to request an RV hardship. Mr. Boles purchased property at 2010 Riden Road, Madison on July 26, 2020. He plans to rehab an old barn on the property into a barndominium. In the past five weeks a well and septic system have been installed, concrete foundation poured and interior framing is underway. Mr. Boles would like to move his RV travel trailer on the property to live in until the home is complete. Boles stated, he currently lives a considerable distance from the property and needs to be close to his wife to care for her. He also stated the project should be complete in 4-5 months.

Motion by Commissioner Riden, Seconded by Commissioner Harris to approve the RV hardship request until April 30, 2021 and to remove the RV after project is complete on April 30, 2020. Unanimously Approved.

AQUATIC CENTER REQUEST FOR FT POSITION

Aquatic Center Director, Missy Mauldin is requesting an additional full-time position at the aquatic center. Mauldin stated the position is needed for safety and scope of care to operate the aquatic facility.

Currently, the facility operates with one full-time employee and several part-time lifeguards. Programming at the facility has developed and grown over time, providing services for infants, youth, adults, active older adults and continues to evolve.

If approved, Mauldin will move one current part-time position to full-time creating a net budget increase of \$23,459.40. Therefore, a budget amendment for FY2021 will be needed as well.

Motion by Commissioner Milton, Seconded by Commissioner Ainslie to approve moving one part-time position to full-time at the aquatic center and approve the FY2021 aquatic center budget amend increase of \$23,459.40. Unanimously Approved.

IT PROJECT-ACCESS CONTROLS

IT Director, Trevor Giddens is requesting approval to upgrade keyless entry controls and equipment to county facilities to cover forty doors. Giddens received three quotes and is recommending the low bidder, Sure Lock Technology for \$38,883.00

Motion by Commissioner Riden, Seconded by Commissioner Harris to approve the quote from Sure Lock Technology for \$38,883.00 for the access controls project. Unanimously Approved.

IT FIBER PROJECT

The current fiber running from the county data center to other county buildings is dated and not able to push the amount of data needed. Therefore, IT Director, Trevor Giddens is requesting to replace the dated fiber with new fiber to achieve the connection needed for faster connectivity.

Motion by Commissioner Harris, Seconded by Commissioner Milton to approve the quote from Sure Lock Technology for \$28,113.00. Unanimously Approved.

BUCKHEAD RIGHT-OF-WAY ENCROACHMENT

Raul Rivera of 3990 Buckhead Road came before the Board to request a right-of-way encroachment easement. In September 2020 Mr. Rivera had his property surveyed which revealed the right-of-way to be fifty feet. The survey was taken to the planning and zoning department for approval and recording. In October 2020 Mr. Rivera began construction on a fence using the approved survey. After installing about 1,230 linear feet of posts, planning director, Chuck Jarrell informed Mr. Rivera the right-of-way was eighty feet, per a 1955 document. Since this was revealed Mr. Rivera stopped construction on the fence. Rivera also noted that all recorded surveys located show a fifty-foot right-of-way.

Mr. Rivera would like to continue his fence as originally planned and if given the right-of-way encroachment easement would apply the following conditions:

1. The county can access the right-of-way without limitation.
2. If the road is widened, the fence would be moved at Mr. Rivera’s expense.
3. Mr. Rivera would maintain the right-of-way that has been encroached.

Motion by Commissioner Milton, Seconded by Commissioner Harris to allow Mr. Rivera to finish his fence at the current fifty-foot right-of-way, providing a signed indemnity agreement is received from Mr. Rivera holding the County harmless and recorded with the deed due to the unusual and unique circumstances presented in this particular instance. Unanimously Approved.

PROPERTY TO BE DECLARED SURPLUS

DESCRIPTION	DEPT
4 Open top dumpsters	Solid Waste
6 Enclosed dumpsters	Solid Waste
1 Compacter	Solid Waste
4 Fiberglass storage units	Solid Waste
8 Toner cartridges	Multiple
1 Case of Smead vertical file tabs	Magistrate
4 Metal computer desks	Ag. Extension
1 AV Cart	Ag. Extension
1 Wooden desk and cordenza	Unknown
8 desk chairs	Multiple
2 reception chairs	

Motion by Commissioner Riden, Seconded by Commissioner Ainslie to declare the list of items presented as surplus. Unanimously Approved.

CONCRETE REPAIRS AT BILL WOOD PARK

Funding was approved in the FY2021 budget to repair the sidewalk at Bill Wood Park around the main building. The current concrete has been in place for over twenty-five years and has several cracks and tripping hazards.

Three bids were received: David Arienzo for \$13,409.00, Solid Site Services, LLC for \$18,592.80 and Concrete Constructors for \$24,700.00.

Motion by Commissioner Ainslie, Seconded by Commissioner Harris to award the project to David Arienzo for \$13,409.00. Unanimously Approved.

FOR REVIEW AND DISCUSSION-PROPOSED CHANGES TO THE MORGAN COUNTY DEVELOPMENT REGULATIONS

Planning Director, Chuck Jarrell presented the Board with proposed changes to the Morgan County Development Regulations. At a previous training work session, the Board asked planning staff how to curb some of the the county subdivision development, regarding road frontage, buffers, parcel splits and minimum lot size requirements.

Jarrell is suggesting the following definitions to help with road frontage subdivision issues:

Definitions

Development, Subdivision: The entire original parcel for which subdivision approval is requested, including all new parcels intended for development, community amenities, recreation facilities, streets, easements, right of ways and areas to be set aside as open space.

One-lot Split: The subdivision of an original tract that creates no more than 2 lots, building sites, or other divisions (including the remaining portion of the original tract). Neither lot created under this exemption may be further subdivided except as a minor or major subdivision.

Original Parcel: A contiguous parcel of land, recorded in the Office of the Clerk of Superior Court of Morgan County, as it existed immediately prior to the approval of any portion of the parcel being divided as a subdivision.

Recombination: The joining of parcels, or portions thereof, of adjoining properties, including the joining of existing parcels of record, provided that additional parcels are not thereby created, and that all resulting parcels are in compliance with the provisions of the zoning district in which it is located.

Subdivision: The division of land into two (2) or more parcels for sale, lease or development.

Subdivision, Agricultural: A form of subdivision design which requires larger parcels to facilitate a range of agricultural activities with or without a residence.

Subdivision, Conservation: A form of subdivision design which concentrates lots, houses, streets, utilities and related development activities on the more suitable, and less environmentally sensitive, areas of the site, thereby preserving the steep slopes, wetlands, unsuitable soils, stream corridors and otherwise environmentally sensitive areas in a natural or undisturbed state. The net density of the development is equal to or less than that of traditional subdivision design, but the lot sizes are smaller in order to preserve the environmentally sensitive areas in dedicated, perpetual open space.

Subdivision, Major: A division of an *original parcel* that creates any number of new parcels involving the construction of a new street, stormwater drainage facilities, or the construction or improvement of public utilities that complies with all requirements of the zoning district in which it is located.

Subdivision, Minor: A division of an *original parcel* that creates no more than three (3) new parcels, including the remaining portion of the original parcel, fronts along an existing County street and does not require the extension or widening of the street; require the construction of stormwater drainage facilities; or the construction or improvement of public utilities. No further subdivision of the original tract or resulting tracts from a minor subdivision will be permitted for one (1) year after the date of final plat approval.

Subdivision, Private Street: A major subdivision in which the parcels are served by a street held in private ownership and not dedicated to the County. A private street subdivision must meet all requirements of these development regulations that apply to a "Major Subdivision," except for dedication of the street rights-of-way or easements and drainage structures and easements.

Other items proposed in the changes include a minimum 33% open space for conservation subdivisions and a minimum 20 acres for agricultural subdivisions with a minimum lot width of 500 feet.

The Board will review the proposed changes over the next couple of weeks and discuss at a later date.

PROPOSED SUBDIVISION MORATORIUM

Planning Director, Chuck Jarrell presented a proposed subdivision moratorium prepared by County Attorney, Christian Henry. Jarrell stated with the proposed changes to the Morgan County Development Regulations, the Board may need to enact a subdivision moratorium until they adopt new language to the development regulations. This would give the Board time to review the proposed changes and give Jarrell feedback on the proposal. The moratorium would expire in ninety days or sooner if the Board adopts new language to the development regulations before the moratorium expiration date.

Motion by Commissioner Riden, Seconded by Commissioner Ainslie to adopt the temporary moratorium resolution on subdivision development for further review of the proposed changes to the Morgan County Development Regulations. (2020-RES-010). Unanimously Approved.

COMMISSIONER LIAISON REPORTS

Commissioners gave updates on Liaison assignments.

PUBLIC COMMENTS ON AGENDA ITEMS

There were no public comments.

MOTION by Commissioner Ainslie, seconded by Commissioner Riden to exit regular session and adjourn. Unanimously Approved.

Philipp von Hanstein, Chairman

ATTEST:

Leslie Brandt, County Clerk

Unofficial Draft Minutes

MORGAN COUNTY GOVERNMENT
 VENDOR PAYMENTS CHECK REGISTER
 Executed By: lsayer

Page: 1
 Date: 10/29/20
 Time: 11:26:39

CHECK NO.	CHK DATE	VENDOR IDENTIFICATION	VENDOR NAME	TYPE	AMOUNT	VOID	OUTSTD
=====							
100-SUNTRUST		GENERAL POOLED-SUNTRUST					
34710	10/05/2020	ANDREWS, JEFFERY SCOTT	JEFFERY SCOTT ANDREWS	DIRECT	\$ 100.00		Yes
34711	10/05/2020	BAILEY, BOBBY L.	BOBBY L. BAILEY	DIRECT	\$ 343.00		Yes
34712	10/05/2020	BANKS, NATHAN	NATHAN BANKS	DIRECT	\$ 100.00		Yes
34713	10/05/2020	BRYAN, ANGELA M	ANGELA M BRYAN	DIRECT	\$ 129.50		Yes
34714	10/05/2020	DICKENS, BRIAN C.	BRIAN C. DICKENS	DIRECT	\$ 200.00		Yes
34715	10/05/2020	ELLIS, ALISHA D	ALISHA D ELLIS	DIRECT	\$ 127.50		Yes
34716	10/05/2020	ELLIS, ALISHA D	ALISHA D ELLIS	DIRECT	\$ 95.00		Yes
34717	10/05/2020	GEORGIA RECREATION & PARK ASSO	GEORGIA RECREATION & PARK ASSOCIAT	DIRECT	\$ 1,000.00		Yes
34718	10/05/2020	HUFF, CEDRIC	CEDRIC D. HUFF	DIRECT	\$ 100.00		Yes
34719	10/05/2020	HUGHES, JAMES ALDEN	JAMES ALDEN HUGHES	DIRECT	\$ 300.00		Yes
34720	10/05/2020	JACKSON, MITZI	MITZI JACKSON	DIRECT	\$ 315.00		Yes
34721	10/05/2020	LUNDY, CALEB	CALEB LUNDY	DIRECT	\$ 90.00		Yes
34722	10/05/2020	LUNDY, CALEB	CALEB LUNDY	DIRECT	\$ 85.00		Yes
34723	10/05/2020	MURRAY, MICHAEL TAYLOR	MICHAEL TAYLOR MURRAY	DIRECT	\$ 100.00		Yes
34724	10/05/2020	NEW, RUSSELL MAYSON	RUSSELL MAYSON NEW	DIRECT	\$ 75.00		Yes
34725	10/05/2020	NEW, RUSSELL MAYSON	RUSSELL MAYSON NEW	DIRECT	\$ 110.00		Yes
34726	10/05/2020	PETERS, MICHAEL	MICHAEL DWAYNE PETERS	DIRECT	\$ 222.50		Yes
34727	10/05/2020	PETERS, MICHAEL	MICHAEL DWAYNE PETERS	DIRECT	\$ 135.00		Yes
34728	10/05/2020	SIMMONS, RONNIE	RONNIE C. SIMMONS, SR.	DIRECT	\$ 100.00		Yes
34729	10/05/2020	SITZMAN, CHRISTOPHER K.	CHRISTOPHER K. SITZMAN	DIRECT	\$ 150.00		Yes
34730	10/05/2020	SITZMAN, CHRISTOPHER K.	CHRISTOPHER K. SITZMAN	DIRECT	\$ 155.00		Yes
34731	10/05/2020	SITZMANN, CLARK BEACOM	CLARK BEACOM SITZMANN	DIRECT	\$ 105.00		Yes
34732	10/05/2020	SITZMANN, CLARK BEACOM	CLARK BEACOM SITZMANN	DIRECT	\$ 105.00		Yes
34733	10/05/2020	TUELL, HOGAN	HOGAN TUELL	DIRECT	\$ 100.00		Yes
34734	10/05/2020	WALLS, JACOB L	JACOB L WALLS	DIRECT	\$ 135.00		Yes
34735	10/05/2020	WALLS, JACOB L	JACOB L WALLS	DIRECT	\$ 90.00		Yes
34736	10/05/2020	WATKINS, RANDY R.	RANDY R. WATKINS	DIRECT	\$ 100.00		Yes
34737	10/05/2020	WHETZEL, JACQUELYN	JACQUELYN WHETZEL	DIRECT	\$ 931.00		Yes
34738	10/05/2020	WHITE, RICKY	RICKY R. WHITE	DIRECT	\$ 200.00		Yes
34739	10/08/2020	BAKER, DEBRA	DEBRA BAKER	DIRECT	\$ 1,287.50		Yes
34740	10/08/2020	CAGLE, ALAN	ALAN CAGLE	DIRECT	\$ 50.00		Yes
34741	10/08/2020	CORRCARE, INC., C/O HUDSPETH A	CORRCARE, INC., C/O HUDSPETH ACCOU	DIRECT	\$ 13,219.00		Yes
34742	10/08/2020	HANSON, HARRY	HARRY HANSON	DIRECT	\$ 200.00		Yes
34743	10/08/2020	MADISON MORGAN CHAMBER OF COMM	MADISON MORGAN CHAMBER OF COMMERCE	DIRECT	\$ 3,551.67		Yes
34744	10/08/2020	MADISON-MORGAN COUNTY	MADISON-MORGAN COUNTY CONVENTION	DIRECT	\$ 2,500.00		Yes
34745	10/08/2020	MAULDIN, MISSY	MISSY MAULDIN	DIRECT	\$ 50.00		Yes
34746	10/08/2020	MERRITT, JR., CHARLES W.	CHARLES W. MERRITT, JR.	DIRECT	\$ 50.00		Yes
34747	10/08/2020	MORGAN COUNTY C ADAM E. CARTER	MORGAN COUNTY CORONER	DIRECT	\$ 50.00		Yes
34748	10/08/2020	MORGAN COUNTY HEALTH DEPARTMEN	MORGAN COUNTY HEALTH DEPARTMENT	DIRECT	\$ 14,166.67		Yes
34749	10/08/2020	MORGAN MEMORIAL HOSPITAL	MORGAN MEDICAL CENTER	DIRECT	\$ 83,333.33		Yes
34750	10/08/2020	MORRIS LAW, LLC	MORRIS LAW, LLC	DIRECT	\$ 550.00		Yes
34751	10/08/2020	NATIONAL EMERGENCY MEDICAL SER	NATIONAL EMERGENCY MEDICAL SERVICE	DIRECT	\$ 23,917.08		Yes
34752	10/08/2020	UNCLE REMUS REGIONAL LIBRARY	UNCLE REMUS REGIONAL LIBRARY	DIRECT	\$ 18,135.08		Yes
34753	10/08/2020	ABOVE ALL TREE SERVICE	ABOVE ALL TREE SERVICE	DIRECT	\$ 1,675.00		Yes
34754	10/08/2020	ACADEMY LOCK & KEY INC	ACADEMY LOCK & KEY INC	MANUAL	\$ 0.00	VOIDED	Yes
34755	10/08/2020	AG-PRO COMPANIES	AG-PRO LLC	DIRECT	\$ 791.16		Yes
34756	10/08/2020	ASSOCIATED PAPER	ASSOCIATED PAPER	DIRECT	\$ 173.15		Yes
34757	10/08/2020	AT&T	AT&T	DIRECT	\$ 2,013.30		Yes
34758	10/08/2020	ATHENS FORD	ATHENS FORD	DIRECT	\$ 221.74		Yes
34759	10/08/2020	ATHENS MICROCOMPUTER CENTER, I	ATHENS MICROCOMPUTER CENTER, INC.	DIRECT	\$ 2,053.86		Yes
34760	10/08/2020	AXON ENTERPRISE, INC	AXON ENTERPRISE, INC	DIRECT	\$ 762.75		Yes
34761	10/08/2020	BARNES, TOMMY	TOMMY BARNES	DIRECT	\$ 504.00		Yes
34762	10/08/2020	BEAR CREEK REPORTING, INC.	BEAR CREEK REPORTING, INC.	DIRECT	\$ 2,580.00		Yes
34763	10/08/2020	BO'S WRECKER SERVICE	BO'S WRECKER SERVICE	DIRECT	\$ 848.48		Yes
34764	10/08/2020	BOUND TREE MEDICAL, LLC	BOUND TREE MEDICAL, LLC	DIRECT	\$ 32.29		Yes
34765	10/08/2020	CAMPBELL'S CUSTOM HEATING & AI	CAMPBELL'S CUSTOM HEATING & AIR, L	DIRECT	\$ 1,800.00		Yes
34766	10/08/2020	CANON SOLUTIONS AMERICA	CANON SOLUTIONS AMERICA	DIRECT	\$ 291.76		Yes
34767	10/08/2020	CENTRAL GEORGIA EMC	CENTRAL GEORGIA EMC	DIRECT	\$ 738.22		Yes
34768	10/08/2020	CES-CITY ELECTRIC ACCOUNTS	CES-CITY ELECTRIC ACCOUNTS	DIRECT	\$ 1,041.65		Yes
34769	10/08/2020	CINTAS #201 DECATUR	CINTAS #201 DECATUR	DIRECT	\$ 626.32		Yes
34770	10/08/2020	CITY OF MADISON	CITY OF MADISON	DIRECT	\$ 13,831.54		Yes
34771	10/08/2020	CITY OF RUTLEDGE	CITY OF RUTLEDGE	DIRECT	\$ 62.00		Yes
34772	10/08/2020	COVETRUS NORTH AMERICA	COVETRUS NORTH AMERICA	DIRECT	\$ 369.56		Yes
34773	10/08/2020	CREATIVE SAFETY SUPPLY, LLC	CREATIVE SAFETY SUPPLY, LLC	DIRECT	\$ 978.55		Yes
34774	10/08/2020	CROWD CONTROL WAREHOUSE	CROWD CONTROL WAREHOUSE	DIRECT	\$ 1,082.18		Yes
34775	10/08/2020	DATAMATX, INC	DATAMATX, INC	DIRECT	\$ 714.83		Yes
34776	10/08/2020	DAVIS & STANTON PROMOTIONS	DAVIS & STANTON PROMOTIONS	DIRECT	\$ 261.00		Yes
34777	10/08/2020	DAVIS, BRENDA C. - CCR	BRENDA C. DAVIS, CCR	DIRECT	\$ 200.00		Yes

MORGAN COUNTY GOVERNMENT
 VENDOR PAYMENTS CHECK REGISTER
 Executed By: lsayer

Page: 2
 Date: 10/29/20
 Time: 11:26:39

CHECK NO.	CHK DATE	VENDOR IDENTIFICATION	VENDOR NAME	TYPE	AMOUNT	VOID	OUTSTD
34778	10/08/2020	DC POOL SERVICE LLC	DC POOL SERVICE LLC	DIRECT	\$ 3,155.00		Yes
34779	10/08/2020	ED'S PUBLIC SAFETY, INC.	ED'S PUBLIC SAFETY, INC.	DIRECT	\$ 383.60		Yes
34780	10/08/2020	FONTIS WATER	FONTIS WATER	DIRECT	\$ 178.50		Yes
34781	10/08/2020	GALLS	GALLS	DIRECT	\$ 452.68		Yes
34782	10/08/2020	GEORGIA PUBLIC DEFENDER STDS	GEORGIA PUBLIC DEFENDER STANDARDS	MANUAL	\$ 0.00	VOIDED	Yes
34783	10/08/2020	GEORGIA TECHNOLOGY AUTHORITY	GEORGIA TECHNOLOGY AUTHORITY	DIRECT	\$ 53.42		Yes
34784	10/08/2020	GOLD MEDAL	GOLD MEDAL	DIRECT	\$ 817.04		Yes
34785	10/08/2020	GRAINGER	GRAINGER	DIRECT	\$ 588.10		Yes
34786	10/08/2020	GULF STATES DISTRIBUTORS	GULF STATES DISTRIBUTORS	DIRECT	\$ 327.95		Yes
34787	10/08/2020	HORSLEY, NADEL - CCR	NADEL HORSLEY	DIRECT	\$ 866.00		Yes
34788	10/08/2020	HYDRACO	HYDRACO	DIRECT	\$ 994.94		Yes
34789	10/08/2020	INDUSTRIAL VIDEO & CONTROL CO	INDUSTRIAL VIDEO & CONTROL CO LLC	DIRECT	\$ 8,612.00		Yes
34790	10/08/2020	INTERSTATE BATTERIES OF CENTRA	INTERSTATE BATTERIES OF CENTRAL SA	DIRECT	\$ 218.90		Yes
34791	10/08/2020	J&M FASTENERS LLC	J&M FASTENERS LLC	DIRECT	\$ 152.09		Yes
34792	10/08/2020	JENNETTE, STEVEN M.	STEVEN M. JENNETTE	DIRECT	\$ 40.00		Yes
34793	10/08/2020	JOHN DEERE FINANCIAL	JOHN DEERE FINANCIAL	DIRECT	\$ 349.00		Yes
34794	10/08/2020	LASH, CHRISTOPHER	CHRISTOPHER LASH	DIRECT	\$ 120.00		Yes
34795	10/08/2020	LIFE PRESCRIPTIONS LLC	LIFE PRESCRIPTIONS LLC	DIRECT	\$ 50.00		Yes
34796	10/08/2020	MADDOX, TAMARA	TAMARA MADDOX	DIRECT	\$ 215.04		Yes
34797	10/08/2020	MADISON CAR CARE	MADISON CAR CARE	DIRECT	\$ 819.15		Yes
34798	10/08/2020	MADISON ELECTRIC SUPPLY	MADISON ELECTRIC SUPPLY	DIRECT	\$ 1,126.82		Yes
34799	10/08/2020	MADISON RENTALS, INC	MADISON RENTALS, INC	DIRECT	\$ 90.00		Yes
34800	10/08/2020	MADISON-MORGAN COUNTY	MADISON-MORGAN COUNTY CONVENTION	DIRECT	\$ 1,368.85		Yes
34801	10/08/2020	MAURICE'S TOWING, LLC	MAURICE'S TOWING, LLC	DIRECT	\$ 500.00		Yes
34802	10/08/2020	MCGEE, MARY	MARY MCGEE	DIRECT	\$ 1,009.52		Yes
34803	10/08/2020	METROCOUNT USA INC	METROCOUNT USA INC	DIRECT	\$ 164.00		Yes
34804	10/08/2020	MORGAN COUNTY BOARD OF EDUCATI	MORGAN COUNTY BOARD OF EDUCATION	DIRECT	\$ 19,551.72		Yes
34805	10/08/2020	MORGAN COUNTY BOARD OF EDUCATI	MORGAN COUNTY BOARD OF EDUCATION	DIRECT	\$ 19,355.95		Yes
34806	10/08/2020	MORGAN COUNTY CITIZEN	MORGAN COUNTY CITIZEN	DIRECT	\$ 269.66		Yes
34807	10/08/2020	MORGAN COUNTY CLERK OF SUPERIO	MORGAN COUNTY CLERK OF SUPERIOR CO	DIRECT	\$ 89.99		Yes
34808	10/08/2020	MORGAN MEMORIAL HOSPITAL	MORGAN MEDICAL CENTER	DIRECT	\$ 34.00		Yes
34809	10/08/2020	MORRIS TRUCK REPAIR, INC.	MORRIS TRUCK REPAIR, INC.	DIRECT	\$ 4,715.02		Yes
34810	10/08/2020	NAFECO INC	NAFECO INC	DIRECT	\$ 90.00		Yes
34811	10/08/2020	NOREGON SYSTEMS, INC.	NOREGON SYSTEMS, INC.	DIRECT	\$ 3,998.00		Yes
34812	10/08/2020	OFFICE DEPOT	OFFICE DEPOT	DIRECT	\$ 21.34		Yes
34813	10/08/2020	PALMER'S WELDING SUPPLY INC	PALMER'S WELDING SUPPLY INC	DIRECT	\$ 537.09		Yes
34814	10/08/2020	PARADOX SPAY/NEUTER CLINIC	PARADOX SPAY/NEUTER CLINIC	DIRECT	\$ 1,276.10		Yes
34815	10/08/2020	PORTERFIELD TIRE, INC	PORTERFIELD TIRE, INC	DIRECT	\$ 1,136.38		Yes
34816	10/08/2020	ROCIC	ROCIC	DIRECT	\$ 300.00		Yes
34817	10/08/2020	SAM'S CLUB/GECRB	SAM'S CLUB/GECRB	DIRECT	\$ 174.40		Yes
34818	10/08/2020	SELLERS, BRANDON	BRANDON SELLERS	DIRECT	\$ 200.00		Yes
34819	10/08/2020	SERVERSUPPLY.COM, INC.	SERVERSUPPLY.COM, INC.	DIRECT	\$ 1,900.80		Yes
34820	10/08/2020	SKYLINE CONSTRUCTION SERVICES,	SKYLINE CONSTRUCTION SERVICES, INC	DIRECT	\$ 5,000.00		Yes
34821	10/08/2020	SOLARWINDS MSP UK LIMITED	SOLARWINDS MSP UK LIMITED	DIRECT	\$ 9,528.00		Yes
34822	10/08/2020	STAPLES	STAPLES ADVANTAGE	DIRECT	\$ 509.83		Yes
34823	10/08/2020	T&S HARDWOODS	T&S HARDWOODS	DIRECT	\$ 5,000.00		Yes
34824	10/08/2020	TEN 8 FIRE & SAFETY EQUIPMENT	TEN 8 FIRE & SAFETY EQUIPMENT OF G	DIRECT	\$ 968.00		Yes
34825	10/08/2020	THE ICEE COMPANY	THE ICEE COMPANY	DIRECT	\$ 1,856.64		Yes
34826	10/08/2020	THRASH, JEREMY	JEREMY THRASH	DIRECT	\$ 80.00		Yes
34827	10/08/2020	TOSHIBA BUSINESS SOLUTIONS, US	TOSHIBA BUSINESS SOLUTIONS, USA	DIRECT	\$ 2,608.05		Yes
34828	10/08/2020	WEST CHATHAM WARNING DEVICES	WEST CHATHAM WARNING DEVICES	DIRECT	\$ 1,060.00		Yes
34829	10/08/2020	WEX BANK	WEX BANK	DIRECT	\$ 712.17		Yes
34830	10/08/2020	WITMER PUBLIC S WITMER PUBLIC	WITMER PUBLIC SAFETY GROUP, INC	DIRECT	\$ 72.98		Yes
34831	10/08/2020	XEROX FINANCIAL SERVICES	XEROX FINANCIAL SERVICES	DIRECT	\$ 167.00		Yes
34832	10/08/2020	YOUNGBLOOD MOTOR COMPANY	YOUNGBLOOD MOTOR COMPANY	DIRECT	\$ 18,998.00		Yes
34833	10/08/2020	ADVANTAGE BEHAVIORAL HEALTH SY	ADVANTAGE BEHAVIORAL HEALTH SYSTEM	DIRECT	\$ 7,387.00		Yes
34834	10/08/2020	ADVANTAGE BEHAVIORAL HEALTH SY	ADVANTAGE BEHAVIORAL HEALTH SYSTEM	DIRECT	\$ 6,353.00		Yes
34835	10/08/2020	BRADLEY, STEPHEN A	STEPHEN A BRADLEY, ATTORNEY	MANUAL	\$ 0.00	VOIDED	Yes
34836	10/08/2020	BURKS, JEFF PRESTON	JEFF PRESTON BURKS	DIRECT	\$ 1,250.00		Yes
34837	10/08/2020	MORGAN COUNTY DFACS	MORGAN COUNTY DFACS	DIRECT	\$ 6,250.00		Yes
34838	10/08/2020	MOSS, LLC, LEE R.	LEE R. MOSS, LLC	DIRECT	\$ 3,750.00		Yes
34839	10/08/2020	OCMULGEE JUDICIAL CIRCUIT	OCMULGEE JUDICIAL CIRCUIT	DIRECT	\$ 7,617.25		Yes
34840	10/08/2020	OCMULGEE JUDICIAL CIRCUIT	OCMULGEE JUDICIAL CIRCUIT	DIRECT	\$ 8,467.50		Yes
34841	10/12/2020	ANGEL, JR., JAMES O.	JAMES O. ANGEL, JR.	DIRECT	\$ 95.00		Yes
34842	10/12/2020	BERNARD, REBECCA	REBECCA A. BERNARD	DIRECT	\$ 56.00		Yes
34843	10/12/2020	BERNARD, STEVEN E	STEVEN E BERNARD	DIRECT	\$ 204.00		Yes
34844	10/12/2020	BROOKS, WESLEY	WESLEY BROOKS	DIRECT	\$ 116.00		Yes
34845	10/12/2020	BRYANS, WARREN G	WARREN G BRYANS	DIRECT	\$ 42.00		Yes
34846	10/12/2020	CRIST, DANIELLE	DANIELLE M. CRIST	DIRECT	\$ 70.00		Yes
34847	10/12/2020	DICKSON, JEFFERY	JEFFERY DICKSON	DIRECT	\$ 55.00		Yes
34848	10/12/2020	DURHAM, KEITH	KEITH J DURHAM	DIRECT	\$ 256.00		Yes
34849	10/12/2020	FOX, STEVEN D	STEVEN D FOX	DIRECT	\$ 92.00		Yes

Item4.

MORGAN COUNTY GOVERNMENT
 VENDOR PAYMENTS CHECK REGISTER
 Executed By: lsayer

Page: 3
 Date: 10/29/20
 Time: 11:26:39

CHECK NO.	CHK DATE	VENDOR IDENTIFICATION	VENDOR NAME	TYPE	AMOUNT	VOID	OUTSTD
34850	10/12/2020	HARDY, AMY C	AMY C HARDY	DIRECT	\$ 45.00		Yes
34851	10/12/2020	HARDY, MILES P	MILES P HARDY	DIRECT	\$ 70.00		Yes
34852	10/12/2020	JARRELL, JR, CHARLES B.	CHARLES B. JARRELL, JR	DIRECT	\$ 111.00		Yes
34853	10/12/2020	LEE, SAMUEL V	SAMUEL V LEE	DIRECT	\$ 54.00		Yes
34854	10/12/2020	MCHUGH, MACK RUSS	MACK RUSS MCHUGH	DIRECT	\$ 172.00		Yes
34855	10/12/2020	MERIWETHER, WILLIAM T	WILLIAM T MERIWETHER	DIRECT	\$ 192.00		Yes
34856	10/12/2020	OWENS, JOEL DREW	JOEL DREW OWENS	DIRECT	\$ 132.00		Yes
34857	10/12/2020	PRITCHETT, JOSEPH	JOSEPH PRITCHETT	DIRECT	\$ 35.00		Yes
34858	10/12/2020	RUARK, ERICA	ERICA L. RUARK	DIRECT	\$ 115.00		Yes
34859	10/12/2020	RUARK, TYLER	HENRY TYLER RUARK	DIRECT	\$ 84.00		Yes
34860	10/12/2020	SMITH, MARLIN LEE	MARLIN LEE SMITH	DIRECT	\$ 147.00		Yes
34861	10/12/2020	SNEAD, MICHAEL	MICHAEL SNEAD	DIRECT	\$ 58.00		Yes
34862	10/12/2020	YEARGIN, JACOB W	JACOB W YEARGIN	DIRECT	\$ 65.00		Yes
34865	10/15/2020	ACADEMY LOCK & KEY INC	ACADEMY LOCK & KEY INC	DIRECT	\$ 358.00		Yes
34866	10/15/2020	AMAZON WEB SERVICES, INC.	AMAZON WEB SERVICES, INC.	DIRECT	\$ 35.80		Yes
34867	10/15/2020	ASSOCIATED PAPER	ASSOCIATED PAPER	DIRECT	\$ 1,004.01		Yes
34868	10/15/2020	AT&T	AT&T	DIRECT	\$ 1,126.00		Yes
34869	10/15/2020	AT&T CAPITAL SERVICES, INC.	AT&T CAPITAL SERVICES, INC.	DIRECT	\$ 2,413.83		Yes
34870	10/15/2020	BAKERS WASTE EQUIPMENT INC.	BAKERS WASTE EQUIPMENT INC.	DIRECT	\$ 19,588.00		Yes
34871	10/15/2020	BATEMAN COMMUNITY LIVING	BATEMAN COMMUNITY LIVING	DIRECT	\$ 2,718.84		Yes
34872	10/15/2020	CES-CITY ELECTRIC ACCOUNTS	CES-CITY ELECTRIC ACCOUNTS	DIRECT	\$ 162.43		Yes
34873	10/15/2020	CHARTER COMMUNICATIONS	CHARTER COMMUNICATIONS	DIRECT	\$ 3,302.95		Yes
34874	10/15/2020	CHARTER COMMUNICATIONS	CHARTER COMMUNICATIONS	DIRECT	\$ 95.00		Yes
34875	10/15/2020	CINTAS #201 DECATUR	CINTAS #201 DECATUR	DIRECT	\$ 43.18		Yes
34876	10/15/2020	CONNOR'S AUTO PARTS	CONNOR'S AUTO PARTS	DIRECT	\$ 4,346.42		Yes
34877	10/15/2020	DATAMATX, INC	DATAMATX, INC	DIRECT	\$ 753.22		Yes
34878	10/15/2020	DJ'S AUTO PAINTING INC.	DJ'S AUTO PAINTING INC.	DIRECT	\$ 286.57		Yes
34879	10/15/2020	DOMINION VOTING	DOMINION VOTING	DIRECT	\$ 37.39		Yes
34880	10/15/2020	DUDE SOLUTIONS	DUDE SOLUTIONS	DIRECT	\$ 10,197.31		Yes
34881	10/15/2020	GALLS	GALLS	DIRECT	\$ 453.21		Yes
34882	10/15/2020	GEORGIA ASSOCIATION OF CHIEFS	GEORGIA ASSOC OF CHIEFS OF POLICE	DIRECT	\$ 100.00		Yes
34883	10/15/2020	GEORGIA FIREFIGHTERS PENSION F	GEORGIA FIREFIGHTERS PENSION FUND	DIRECT	\$ 1,525.00		Yes
34884	10/15/2020	GEORGIA SWIMMING	GEORGIA SWIMMING	DIRECT	\$ 2,312.00		Yes
34885	10/15/2020	GEORGIA TECHNOLOGY AUTHORITY	GEORGIA TECHNOLOGY AUTHORITY	DIRECT	\$ 363.89		Yes
34886	10/15/2020	GRAINGER	GRAINGER	DIRECT	\$ 566.00		Yes
34887	10/15/2020	GREAT ESTATES LANDSCAPING	GREAT ESTATES LANDSCAPING, LLC	DIRECT	\$ 200.00		Yes
34888	10/15/2020	HARRIS COMPUTER SYSTEMS	HARRIS COMPUTER SYSTEMS	DIRECT	\$ 1,182.77		Yes
34889	10/15/2020	HERC RENTALS, INC	HERC RENTALS, INC	DIRECT	\$ 1,674.75		Yes
34890	10/15/2020	JUST RIGHT SIGNS & ENGRAVING	JUST RIGHT SIGNS & ENGRAVING	DIRECT	\$ 492.00		Yes
34891	10/15/2020	LANIER, DENA	ALDNA M. LANIER	DIRECT	\$ 89.50		Yes
34892	10/15/2020	LOWE'S PUBLIC BLDGS	LOWE'S	DIRECT	\$ 482.98		Yes
34893	10/15/2020	MADDOX, TAMARA	TAMARA MADDOX	DIRECT	\$ 191.52		Yes
34894	10/15/2020	MADISON ELECTRIC SUPPLY	MADISON ELECTRIC SUPPLY	DIRECT	\$ 84.99		Yes
34895	10/15/2020	MAGNUM ELECTRONICS, INC	MAGNUM ELECTRONICS, INC	DIRECT	\$ 441.70		Yes
34896	10/15/2020	MCKESSON MEDICAL-SURGICAL GOVE	MCKESSON MEDICAL-SURGICAL GOVERNME	DIRECT	\$ 113.52		Yes
34897	10/15/2020	METROPOLITAN COMMUNICATIONS	METROPOLITAN COMMUNICATIONS	DIRECT	\$ 1,050.00		Yes
34898	10/15/2020	MORGAN COUNTY 4-H	MORGAN COUNTY 4-H	DIRECT	\$ 30.00		Yes
34899	10/15/2020	MORGAN COUNTY CITIZEN	MORGAN COUNTY CITIZEN	DIRECT	\$ 1,362.40		Yes
34900	10/15/2020	MORGAN COUNTY CLERK OF SUPERIO	MORGAN COUNTY CLERK OF SUPERIOR CO	DIRECT	\$ 1,594.50		Yes
34901	10/15/2020	MORGAN MEMORIAL HOSPITAL	MORGAN MEDICAL CENTER	DIRECT	\$ 5.75		Yes
34902	10/15/2020	OAK GROVE LANDFILL	OAK GROVE LANDFILL	DIRECT	\$ 25,235.38		Yes
34903	10/15/2020	PALMER'S WELDING SUPPLY INC	PALMER'S WELDING SUPPLY INC	DIRECT	\$ 365.36		Yes
34904	10/15/2020	PHILLIPS, JOSEPH	JOSEPH HUGH PHILLIPS	DIRECT	\$ 225.00		Yes
34905	10/15/2020	PRO-TEC FIRE & SAFETY	PRO-TEC FIRE & SAFETY	DIRECT	\$ 300.00		Yes
34906	10/15/2020	SATELLITE TRACKING OF PEOPLE,	SATELLITE TRACKING OF PEOPLE, LLC	DIRECT	\$ 92.70		Yes
34907	10/15/2020	SHRED-IT	SHRED-IT US JV LLC	DIRECT	\$ 136.35		Yes
34908	10/15/2020	SIMS, THEODORE	THEODORE SIMS	DIRECT	\$ 504.00		Yes
34909	10/15/2020	SMARTWAVE TECHNOLOGIES, LLC	SMARTWAVE TECHNOLOGIES, LLC	DIRECT	\$ 720.00		Yes
34910	10/15/2020	SMITH, KENNETH	KENNETH SMITH	DIRECT	\$ 120.00		Yes
34911	10/15/2020	SNOW, CHARLES C.	CHARLES C. SNOW	DIRECT	\$ 225.00		Yes
34912	10/15/2020	SOCIAL CIRCLE ACE	SOCIAL CIRCLE ACE	DIRECT	\$ 4,700.05		Yes
34913	10/15/2020	STAPLES	STAPLES ADVANTAGE	DIRECT	\$ 108.20		Yes
34914	10/15/2020	STERLING COMPUTERS CORPORATION	STERLING COMPUTERS CORPORATION	DIRECT	\$ 5,980.87		Yes
34915	10/15/2020	STURGIS WEB SERVICES	STURGIS WEB SERVICES	DIRECT	\$ 1,485.00		Yes
34916	10/15/2020	TEN 8 FIRE & SAFETY EQUIPMENT	TEN 8 FIRE & SAFETY EQUIPMENT OF G	DIRECT	\$ 864.48		Yes
34917	10/15/2020	TFS LEASING A PROGRAM OF DE LA	TFS LEASING A PROGRAM OF DE LAGE L	DIRECT	\$ 3,425.54		Yes
34918	10/15/2020	TK'S TIRE & AUTO PARTS	TK'S TIRE & AUTO PARTS	DIRECT	\$ 847.73		Yes
34919	10/15/2020	TRANSUNION RISK AND ATLERNATIV	TRANSUNION RISK AND ATLERNATIVE	DIRECT	\$ 66.30		Yes
34920	10/15/2020	TRINITY SERVICES GROUP, INC.	TRINITY SERVICES GROUP, INC.	DIRECT	\$ 3,330.00		Yes
34921	10/15/2020	VERIZON WIRELESS	VERIZON WIRELESS	DIRECT	\$ 4,592.30		Yes
34922	10/15/2020	WALTON EMC	WALTON EMC	DIRECT	\$ 3,848.17		Yes
34923	10/15/2020	WILSON, JODI LYNN	JODI LYNN WILSON	DIRECT	\$ 482.00		Yes

MORGAN COUNTY GOVERNMENT
 VENDOR PAYMENTS CHECK REGISTER
 Executed By: lsayer

Page: 4
 Date: 10/29/20
 Time: 11:26:39

CHECK NO.	CHK DATE	VENDOR IDENTIFICATION	VENDOR NAME	TYPE	AMOUNT	VOID	OUTSTD
34924	10/15/2020	XEROX BUSINESS SOLUTIONS SOUTH	XEROX BUSINESS SOLUTIONS SOUTHEAST	DIRECT	\$ 31.49		Yes
34929	10/22/2020	ADVANTAGE BEHAVIORAL HEALTH SY	ADVANTAGE BEHAVIORAL HEALTH SYSTEM	DIRECT	\$ 1,040.00		Yes
34930	10/22/2020	ALL TURF	ALL TURF	DIRECT	\$ 1,200.00		Yes
34931	10/22/2020	ASSOCIATED PAPER	ASSOCIATED PAPER	DIRECT	\$ 2,608.34		Yes
34932	10/22/2020	ASSOCIATED PAPER	ASSOCIATED PAPER	DIRECT	\$ 39.72		Yes
34933	10/22/2020	BEAR CREEK REPORTING, INC.	BEAR CREEK REPORTING, INC.	DIRECT	\$ 391.00		Yes
34934	10/22/2020	BETRAND JR., DAVID	DAVID BETRAND JR.	DIRECT	\$ 225.00		Yes
34935	10/22/2020	BLACK INK INC	BLACK INK INC	DIRECT	\$ 24.00		Yes
34936	10/22/2020	BO'S WRECKER SERVICE	BO'S WRECKER SERVICE	DIRECT	\$ 312.67		Yes
34937	10/22/2020	BOUND TREE MEDICAL, LLC	BOUND TREE MEDICAL, LLC	DIRECT	\$ 1,580.56		Yes
34938	10/22/2020	BRANNON, ASHTON KANARD	ASHTON KANARD BRANNON	DIRECT	\$ 225.00		Yes
34939	10/22/2020	BSN SPORTS	BSN SPORTS	DIRECT	\$ 1,688.00		Yes
34940	10/22/2020	CATHEY, JEANETTE V.	JEANETTE V. CATHEY	DIRECT	\$ 200.00		Yes
34941	10/22/2020	CINTAS #201 DECATUR	CINTAS #201 DECATUR	DIRECT	\$ 359.23		Yes
34942	10/22/2020	CONVERUS, INC.	CONVERUS, INC.	DIRECT	\$ 1,050.00		Yes
34943	10/22/2020	COOLEY, CHRISTY	CHRISTY COOLEY	DIRECT	\$ 60.00		Yes
34944	10/22/2020	DAVIS, BRENDA C. - CCR	BRENDA C. DAVIS, CCR	DIRECT	\$ 200.00		Yes
34945	10/22/2020	DAVIS, GREGORY STEVEN	GREGORY STEVEN DAVIS	DIRECT	\$ 70.00		Yes
34946	10/22/2020	DC POOL SERVICE LLC	DC POOL SERVICE LLC	DIRECT	\$ 2,050.00		Yes
34947	10/22/2020	DIRECTV	DIRECTV	DIRECT	\$ 75.99		Yes
34948	10/22/2020	DISH NETWORK	DISH NETWORK	DIRECT	\$ 198.04		Yes
34949	10/22/2020	DUFFEE, STEVEN MATTHEW	STEVEN MATTHEW DUFFEE	DIRECT	\$ 70.00		Yes
34950	10/22/2020	ELLIS, ALISHA D	ALISHA D ELLIS	DIRECT	\$ 45.00		Yes
34951	10/22/2020	EVERBRIDGE, INC.	EVERBRIDGE, INC.	DIRECT	\$ 6,980.00		Yes
34952	10/22/2020	GAINESVILLE PARKS & RECREATION	GAINESVILLE PARKS & RECREATION	DIRECT	\$ 258.00		Yes
34953	10/22/2020	GALLS	GALLS	DIRECT	\$ 444.98		Yes
34954	10/22/2020	GEORGIA 4-H UNIVERSITY OF	GEORGIA 4-H	DIRECT	\$ 3,000.00		Yes
34955	10/22/2020	GEORGIA POWER C 105090	GEORGIA POWER COMPANY	DIRECT	\$ 32,634.41		Yes
34956	10/22/2020	GOLD MEDAL	GOLD MEDAL	DIRECT	\$ 186.74		Yes
34957	10/22/2020	HALL BOOTH SMITH, P.C.	HALL BOOTH SMITH, P.C.	DIRECT	\$ 3,390.00		Yes
34958	10/22/2020	HANSON, CHARLES	CHARLES T. HANSON	DIRECT	\$ 200.00		Yes
34959	10/22/2020	HOUSEMAN PEST CONTROL INC	HOUSEMAN PEST CONTROL INC	DIRECT	\$ 1,085.00		Yes
34960	10/22/2020	HYATT REGENCY SAVANNAH	HYATT REGENCY SAVANNAH	DIRECT	\$ 250.00		Yes
34961	10/22/2020	INGLES	INGLES	DIRECT	\$ 120.18		Yes
34962	10/22/2020	KOFILE	KOFILE	DIRECT	\$ 1,622.88		Yes
34963	10/22/2020	LAKE COUNTRY WINDOW TINTING	LAKE COUNTRY WINDOW TINTING	DIRECT	\$ 496.00		Yes
34964	10/22/2020	LEGAL RESEARCH ASSOCIATES	LEGAL RESEARCH ASSOCIATES	DIRECT	\$ 169.00		Yes
34965	10/22/2020	LOWE'S PUBLIC SAFETY FIRE	LOWE'S	DIRECT	\$ 885.22		Yes
34966	10/22/2020	LOWE'S REC DEPT	LOWE'S	DIRECT	\$ 367.57		Yes
34967	10/22/2020	LUNDY, CALEB	CALEB LUNDY	DIRECT	\$ 57.50		Yes
34968	10/22/2020	MACK ,CCR, DENNI K.	DENNI K. MACK ,CCR	DIRECT	\$ 398.00		Yes
34969	10/22/2020	MADISON MORGAN CHAMBER OF COMM	MADISON MORGAN CHAMBER OF COMMERCE	DIRECT	\$ 395.00		Yes
34970	10/22/2020	MANNING BROTHERS FOOD EQUIP CO	MANNING BROTHERS FOOD EQUIP CO, IN	DIRECT	\$ 154.44		Yes
34971	10/22/2020	MAYSON, RUSSELL	RUSSELL MAYSON	MANUAL	\$ 0.00	VOIDED	Yes
34972	10/22/2020	MORGAN COUNTY BOARD OF EDUCATI	MORGAN COUNTY BOARD OF EDUCATION	DIRECT	\$ 17,568.55		Yes
34973	10/22/2020	MORGAN COUNTY BOARD OF EDUCATI	MORGAN COUNTY BOARD OF EDUCATION	MANUAL	\$ 0.00	VOIDED	Yes
34974	10/22/2020	MORGAN COUNTY CITIZEN	MORGAN COUNTY CITIZEN	DIRECT	\$ 125.00		Yes
34975	10/22/2020	MORGAN COUNTY CITIZEN	MORGAN COUNTY CITIZEN	DIRECT	\$ 44.00		Yes
34976	10/22/2020	MORGAN COUNTY CLERK OF SUPERIO	MORGAN COUNTY CLERK OF SUPERIOR CO	DIRECT	\$ 1,425.00		Yes
34977	10/22/2020	MORGAN COUNTY CLERK OF SUPERIO	MORGAN COUNTY CLERK OF SUPERIOR CO	DIRECT	\$ 24.94		Yes
34978	10/22/2020	MORGAN MEMORIAL HOSPITAL	MORGAN MEDICAL CENTER	DIRECT	\$ 3,697.52		Yes
34979	10/22/2020	MUNICIPAL EMERGENCY SERVICES	MUNICIPAL EMERGENCY SERVICES	DIRECT	\$ 1,198.00		Yes
34980	10/22/2020	PETERS, MICHAEL	MICHAEL DWAYNE PETERS	DIRECT	\$ 90.00		Yes
34981	10/22/2020	PHELPS WELDING & RADIATOR INC	PHELPS WELDING & RADIATOR INC	DIRECT	\$ 99.75		Yes
34982	10/22/2020	PHILLIPS, JOSEPH	JOSEPH HUGH PHILLIPS	DIRECT	\$ 75.00		Yes
34983	10/22/2020	POWERPHONE, INC	POWERPHONE, INC	DIRECT	\$ 129.00		Yes
34984	10/22/2020	PRO-TEC FIRE & SAFETY	PRO-TEC FIRE & SAFETY	DIRECT	\$ 380.00		Yes
34985	10/22/2020	PUBLIC SAFETY UNIFORM & SUPPLY	PUBLIC SAFETY UNIFORM & SUPPLY	DIRECT	\$ 226.23		Yes
34986	10/22/2020	ROSSEE OIL COMPANY, INC.	ROSSEE OIL COMPANY, INC.	DIRECT	\$ 315.54		Yes
34987	10/22/2020	SHRED-IT	SHRED-IT US JV LLC	DIRECT	\$ 25.25		Yes
34988	10/22/2020	SITZMAN, CHRISTOPHER K.	CHRISTOPHER K. SITZMAN	DIRECT	\$ 150.00		Yes
34989	10/22/2020	SITZMANN, CLARK BEACOM	CLARK BEACOM SITZMANN	DIRECT	\$ 50.00		Yes
34990	10/22/2020	SNOW, CHARLES C.	CHARLES C. SNOW	DIRECT	\$ 75.00		Yes
34991	10/22/2020	SOUTHERN PRODUCTS & SERVICES,	SOUTHERN PRODUCTS & SERVICES, INC	DIRECT	\$ 443.00		Yes
34992	10/22/2020	STAPLES	STAPLES ADVANTAGE	DIRECT	\$ 17.42		Yes
34993	10/22/2020	TFS LEASING A PROGRAM OF DE LA	TFS LEASING A PROGRAM OF DE LAGE L	DIRECT	\$ 1,338.92		Yes
34994	10/22/2020	TRIPLE POINT ENGINEERING	TRIPLE POINT ENGINEERING	DIRECT	\$ 4,539.70		Yes
34995	10/22/2020	TUELL, HOGAN	HOGAN TUELL	DIRECT	\$ 95.00		Yes
34996	10/22/2020	VERIZON CONNECT NWF, INC.	VERIZON CONNECT NWF, INC.	DIRECT	\$ 129.52		Yes
34997	10/22/2020	WAL-MART STORES INC	WAL-MART STORES INC	DIRECT	\$ 269.39		Yes
34998	10/22/2020	WALLS, JACOB L	JACOB L WALLS	DIRECT	\$ 75.00		Yes
34999	10/22/2020	WORRELL, TRELIS CORDELL	TRELIS CORDELL WORRELL	DIRECT	\$ 70.00		Yes

Item4.

MORGAN COUNTY GOVERNMENT
 VENDOR PAYMENTS CHECK REGISTER
 Executed By: lsayer

Page: 5
 Date: 10/29/20
 Time: 11:26:39

CHECK NO.	CHK DATE	VENDOR IDENTIFICATION	VENDOR NAME	TYPE	AMOUNT	VOID	OUTSTD
35000	10/22/2020	XEROX BUSINESS SOLUTIONS SOUTH	XEROX BUSINESS SOLUTIONS SOUTHEAST	DIRECT	\$ 104.67		Yes
35001	10/22/2020	XEROX FINANCIAL SERVICES	XEROX FINANCIAL SERVICES	DIRECT	\$ 119.00		Yes
35002	10/22/2020	NEW, RUSSELL MAYSON	RUSSELL MAYSON NEW	DIRECT	\$ 45.00		Yes
35064	10/29/2020	ADVANTAGE FIRE SPRINKLER CO IN	ADVANTAGE FIRE SPRINKLER CO INC	DIRECT	\$ 1,940.00		Yes
35065	10/29/2020	ASSOCIATED PAPER	ASSOCIATED PAPER	DIRECT	\$ 839.75		Yes
35066	10/29/2020	ATHENS REGIONAL PATHOLOGY ASS	ATHENS REGIONAL PATHOLOGY ASS	DIRECT	\$ 111.00		Yes
35067	10/29/2020	ATLANTA FUEL COMPANY	ATLANTA FUEL COMPANY	DIRECT	\$ 434.50		Yes
35068	10/29/2020	BESTECH ENVIRONMENTAL RESOURCE	BESTECH ENVIRONMENTAL RESOURCES	DIRECT	\$ 248.00		Yes
35069	10/29/2020	BETRAND JR., DAVID	DAVID BETRAND JR.	DIRECT	\$ 37.50		Yes
35070	10/29/2020	BO'S WRECKER SERVICE	BO'S WRECKER SERVICE	DIRECT	\$ 793.24		Yes
35071	10/29/2020	BOHLEN'S GARAGE INC	BOHLEN'S GARAGE INC	DIRECT	\$ 1,261.05		Yes
35072	10/29/2020	BRANNON, ASHTON KANARD	ASHTON KANARD BRANNON	DIRECT	\$ 37.50		Yes
35073	10/29/2020	CABLES AND KITS	CABLES AND KITS	DIRECT	\$ 542.14		Yes
35074	10/29/2020	CARTEY ELECTRIC MOTORS	CARTEY ELECTRIC MOTORS	DIRECT	\$ 149.00		Yes
35075	10/29/2020	CENTRAL GEORGIA EMC	CENTRAL GEORGIA EMC	DIRECT	\$ 461.00		Yes
35076	10/29/2020	CES-CITY ELECTRIC ACCOUNTS	CES-CITY ELECTRIC ACCOUNTS	DIRECT	\$ 282.25		Yes
35077	10/29/2020	CHARTER COMMUNICATIONS	CHARTER COMMUNICATIONS	DIRECT	\$ 3,570.43		Yes
35078	10/29/2020	CINTAS #201 DECATUR	CINTAS #201 DECATUR	DIRECT	\$ 295.89		Yes
35079	10/29/2020	COCA-COLA BOTTLING COMPANY UNI	COCA-COLA BOTTLING COMPANY UNITED,	DIRECT	\$ 246.30		Yes
35080	10/29/2020	DICKENS, BRIAN C.	BRIAN C. DICKENS	DIRECT	\$ 100.00		Yes
35081	10/29/2020	ELLIS, ALISHA D	ALISHA D ELLIS	DIRECT	\$ 85.00		Yes
35082	10/29/2020	FARMER'S HARDWARE	FARMER'S HARDWARE	DIRECT	\$ 28.67		Yes
35083	10/29/2020	GEORGIA DIV OF FAMILY & CHILDR	GEORGIA DIV OF FAMILY & CHILDREN S	DIRECT	\$ 14,775.00		Yes
35084	10/29/2020	GEORGIA TECHNOLOGY AUTHORITY	GEORGIA TECHNOLOGY AUTHORITY	DIRECT	\$ 53.42		Yes
35085	10/29/2020	HARRIS COMPUTER SYSTEMS	HARRIS COMPUTER SYSTEMS	DIRECT	\$ 450.00		Yes
35086	10/29/2020	HASTY AWARDS INC	HASTY AWARDS INC	DIRECT	\$ 257.58		Yes
35087	10/29/2020	HUGHES, JAMES ALDEN	JAMES ALDEN HUGHES	DIRECT	\$ 100.00		Yes
35088	10/29/2020	HUMBLED ROOFING & RESTORATION	HUMBLED ROOFING & RESTORATION LLC	DIRECT	\$ 19,120.00		Yes
35089	10/29/2020	INGLES	INGLES	DIRECT	\$ 34.14		Yes
35090	10/29/2020	LUNDY, CALEB	CALEB LUNDY	DIRECT	\$ 125.00		Yes
35091	10/29/2020	MCGEE, MARY	MARY MCGEE	DIRECT	\$ 877.00		Yes
35092	10/29/2020	NATIONAL ASSOCIATION OF COUNTI	NATIONAL ASSOCIATION OF COUNTIES	DIRECT	\$ 450.00		Yes
35093	10/29/2020	NEW, RUSSELL MAYSON	RUSSELL MAYSON NEW	DIRECT	\$ 70.00		Yes
35094	10/29/2020	OAK GROVE LANDFILL	OAK GROVE LANDFILL	DIRECT	\$ 26,334.90		Yes
35095	10/29/2020	OCONEE CUSTOM SIGNS, INC	OCONEE CUSTOM SIGNS, INC	DIRECT	\$ 450.00		Yes
35096	10/29/2020	PALMER'S WELDING SUPPLY INC	PALMER'S WELDING SUPPLY INC	DIRECT	\$ 40.00		Yes
35097	10/29/2020	PHILLIPS, JOSEPH	JOSEPH HUGH PHILLIPS	DIRECT	\$ 75.00		Yes
35098	10/29/2020	PORTERFIELD TIRE, INC	PORTERFIELD TIRE, INC	DIRECT	\$ 281.78		Yes
35099	10/29/2020	PUTNAM COUNTY COMMISSIONERS	PUTNAM COUNTY COMMISSIONERS	DIRECT	\$ 709.21		Yes
35100	10/29/2020	SIDNEY LEE WELDING SUPPLY, INC	SIDNEY LEE WELDING SUPPLY, INC.	DIRECT	\$ 17.00		Yes
35101	10/29/2020	SIMMONS, RONNIE	RONNIE C. SIMMONS, SR.	DIRECT	\$ 100.00		Yes
35102	10/29/2020	SITZMAN, CHRISTOPHER K.	CHRISTOPHER K. SITZMAN	DIRECT	\$ 160.00		Yes
35103	10/29/2020	SITZMANN, CLARK BEACOM	CLARK BEACOM SITZMANN	DIRECT	\$ 105.00		Yes
35104	10/29/2020	SNOW, CHARLES C.	CHARLES C. SNOW	DIRECT	\$ 75.00		Yes
35105	10/29/2020	TUELL, HOGAN	HOGAN TUELL	DIRECT	\$ 55.00		Yes
35106	10/29/2020	TYLER TECHNOLOGIES, INC	TYLER TECHNOLOGIES, INC	DIRECT	\$ 1,453.67		Yes
35107	10/29/2020	VERIZON WIRELESS	VERIZON WIRELESS	DIRECT	\$ 4,630.60		Yes
35108	10/29/2020	WALLS, JACOB L	JACOB L WALLS	DIRECT	\$ 90.00		Yes
35109	10/29/2020	WALTON C & D LANDFILL	WALTON C & D LANDFILL	DIRECT	\$ 550.68		Yes
35110	10/29/2020	XEROX FINANCIAL SERVICES	XEROX FINANCIAL SERVICES	DIRECT	\$ 119.00		Yes
TOTAL BANK 100-SUNTRUST					\$	667,963.06	

335-SUNTRUST TSPLOST-SUNTRUST

408	10/20/2020	AG-PRO COMPANIES	AG-PRO LLC	DIRECT	\$ 289.48		Yes
409	10/20/2020	BO'S WRECKER SERVICE	BO'S WRECKER SERVICE	DIRECT	\$ 1,077.74		Yes
410	10/20/2020	CITY OF BOSTWICK	CITY OF BOSTWICK	DIRECT	\$ 6,162.92		Yes
411	10/20/2020	CITY OF BUCKHEAD	CITY OF BUCKHEAD	DIRECT	\$ 2,882.16		Yes
412	10/20/2020	CITY OF MADISON	CITY OF MADISON	DIRECT	\$ 67,148.26		Yes
413	10/20/2020	CITY OF RUTLEDGE	CITY OF RUTLEDGE	DIRECT	\$ 13,184.36		Yes
414	10/20/2020	EAST COAST GRADING INC	EAST COAST GRADING INC	DIRECT	\$ 97,539.60		Yes
415	10/20/2020	PORTERFIELD TIRE, INC	PORTERFIELD TIRE, INC	DIRECT	\$ 1,406.56		Yes
416	10/20/2020	YANCEY BROTHERS COMPANY	YANCEY BROTHERS COMPANY	DIRECT	\$ 1,679.42		Yes
417	10/20/2020	YOUNGBLOOD MOTOR COMPANY	YOUNGBLOOD MOTOR COMPANY	DIRECT	\$ 567.96		Yes
418	10/15/2020	AG-PRO COMPANIES	AG-PRO LLC	DIRECT	\$ 600.50		Yes
419	10/15/2020	BO'S WRECKER SERVICE	BO'S WRECKER SERVICE	MANUAL	\$ 0.00	VOIDED	Yes
420	10/15/2020	CONNER'S AUTO PARTS	CONNER'S AUTO PARTS	DIRECT	\$ 539.33		Yes
421	10/15/2020	TK'S TIRE & AUTO PARTS	TK'S TIRE & AUTO PARTS	DIRECT	\$ 37.93		Yes
422	10/15/2020	YOUNGBLOOD MOTOR COMPANY	YOUNGBLOOD MOTOR COMPANY	DIRECT	\$ 148.78		Yes
423	10/22/2020	BO'S WRECKER SERVICE	BO'S WRECKER SERVICE	DIRECT	\$ 127.61		Yes
424	10/22/2020	PHELPS WELDING & RADIATOR INC	PHELPS WELDING & RADIATOR INC	DIRECT	\$ 5.59		Yes

Item4.

MORGAN COUNTY GOVERNMENT
 VENDOR PAYMENTS CHECK REGISTER
 Executed By: lsayer

Page: 6
 Date: 10/29/20
 Time: 11:26:39

CHECK NO.	CHK DATE	VENDOR IDENTIFICATION	VENDOR NAME	TYPE	AMOUNT	VOID	OUTSTD
425	10/22/2020	PORTERFIELD TIRE, INC	PORTERFIELD TIRE, INC	DIRECT	\$ 232.72		Yes
426	10/22/2020	YOUNGBLOOD MOTOR COMPANY	YOUNGBLOOD MOTOR COMPANY	DIRECT	\$ 24.78		Yes
427	10/29/2020	BO'S WRECKER SERVICE	BO'S WRECKER SERVICE	DIRECT	\$ 41.50		Yes
428	10/29/2020	FARMER'S HARDWARE	FARMER'S HARDWARE	DIRECT	\$ 26.15		Yes
429	10/29/2020	LOWE'S ROADS	LOWE'S	DIRECT	\$ 47.91		Yes
430	10/29/2020	MARTIN MARIETTA MATERIALS	MARTIN MARIETTA MATERIALS	DIRECT	\$ 1,377.77		Yes
431	10/29/2020	PORTERFIELD TIRE, INC	PORTERFIELD TIRE, INC	DIRECT	\$ 831.12		Yes
432	10/29/2020	YANCEY BROTHERS COMPANY	YANCEY BROTHERS COMPANY	DIRECT	\$ 3,441.70		Yes
433	10/29/2020	YOUNGBLOOD MOTOR COMPANY	YOUNGBLOOD MOTOR COMPANY	DIRECT	\$ 854.36		Yes
TOTAL BANK 335-SUNTRUST					\$	200,276.21	
SPLOST POOLED SPLOST POOLED ACCOUNT-SUNTRUST							
2972	10/08/2020	CITY OF BOSTWICK	CITY OF BOSTWICK	DIRECT	\$ 6,091.34		Yes
2973	10/08/2020	CITY OF BUCKHEAD	CITY OF BUCKHEAD	DIRECT	\$ 3,045.67		Yes
2974	10/08/2020	CITY OF MADISON	CITY OF MADISON	DIRECT	\$ 75,926.41		Yes
2975	10/08/2020	CITY OF RUTLEDGE	CITY OF RUTLEDGE	DIRECT	\$ 12,176.34		Yes
2976	10/22/2020	BB&T GOVERNMENTAL FINANCE	BB&T GOVERNMENTAL FINANCE	DIRECT	\$ 116,006.69		Yes
TOTAL BANK SPLOST POOLED					\$	213,246.45	
TOTAL ALL					\$	1,081,485.72	

MORGAN COUNTY GOVERNMENT
 VENDOR ELECTRONIC PAYMENTS REGISTER REPORT
 Executed By: lsayer

ETF NUMBER	ETF DATE	VENDOR IDENTIFICATION	VENDOR NAME	TYPE	AMOUNT	CHECKING	ACCOUNT #?	ROUTING #?	ACH ACTIVE

Bank:	100-SUNTRUST	GENERAL POOLED-SUNTRUST							
ELECTRONIC TYPE: DIRECT DEPOSIT ACH FILE									
47149	10/08/2020	AMAZON CAPITAL SERVICES	AMAZON CAPITAL SERVICES	DIRECT	\$ 118.75	Yes	Yes	Yes	Yes
47150	10/08/2020	BRANDT, LESLIE SMITH	LESLIE SMITH BRANDT	DIRECT	\$ 50.00	Yes	Yes	Yes	Yes
47151	10/08/2020	CAGLE, SHANNON	SHANNON CAGLE	DIRECT	\$ 40.00	Yes	Yes	Yes	Yes
47152	10/08/2020	CREW JR, WILLIAM T.	WILLIAM T. CREW JR	DIRECT	\$ 50.00	Yes	Yes	Yes	Yes
47153	10/08/2020	DEAL, SHAUNN A.	SHAUNN A. DEAL	DIRECT	\$ 50.00	Yes	Yes	Yes	Yes
47154	10/08/2020	FLOWERS, PHYLLIS	PHYLLIS D. FLOWERS	DIRECT	\$ 300.00	Yes	Yes	Yes	Yes
47155	10/08/2020	MAULDIN & JENKINS,LLC	MAULDIN & JENKINS,LLC	DIRECT	\$ 15,000.00	Yes	Yes	Yes	Yes
47156	10/08/2020	NUNN, MARY S.	MARY S. NUNN	DIRECT	\$ 50.00	Yes	Yes	Yes	Yes
47157	10/08/2020	OAKLEY, MARY	MARY ELIZABETH OAKLEY	DIRECT	\$ 50.00	Yes	Yes	Yes	Yes
47158	10/08/2020	PROCTOR, AMANDA WAGES	AMANDA WAGES PROCTOR	DIRECT	\$ 50.00	Yes	Yes	Yes	Yes
47159	10/08/2020	WOODARD, JANET	JANET WOODARD	DIRECT	\$ 40.00	Yes	Yes	Yes	Yes
47162	10/12/2020	ANGEL, KIMBERLY	KIMBERLY FULLER ANGEL	DIRECT	\$ 87.00	Yes	Yes	Yes	Yes
47163	10/12/2020	ARCHER, RICHARD F	RICHARD F ARCHER	DIRECT	\$ 35.00	Yes	Yes	Yes	Yes
47164	10/12/2020	ARMSTRONG, CHARLES J.	CHARLES J. ARMSTRONG	DIRECT	\$ 216.00	Yes	Yes	Yes	Yes
47165	10/12/2020	ASTIN, DALLAS	DALLAS ASTIN	DIRECT	\$ 154.00	Yes	Yes	Yes	Yes
47166	10/12/2020	BAUER, HENRY R	HENRY R BAUER	DIRECT	\$ 54.00	Yes	Yes	Yes	Yes
47167	10/12/2020	BEDGOOD, WILLIAM ADAM	WILLIAM ADAM BEDGOOD	DIRECT	\$ 84.00	Yes	Yes	Yes	Yes
47168	10/12/2020	BOYCE, CHAD	CHAD BOYCE	DIRECT	\$ 94.00	Yes	Yes	Yes	Yes
47169	10/12/2020	BRUCE, BENJAMIN H.	BENJAMIN H. BRUCE	DIRECT	\$ 115.00	Yes	Yes	Yes	Yes
47170	10/12/2020	BURGE, ALLEN	ALLEN BURGE	DIRECT	\$ 92.00	Yes	Yes	Yes	Yes
47171	10/12/2020	CAMPBELL, LISA ASHLEY	LISA ASHLEY CAMPBELL	DIRECT	\$ 86.00	Yes	Yes	Yes	Yes
47172	10/12/2020	HAMILTON, MICHAEL W.	MICHAEL W. HAMILTON	DIRECT	\$ 196.00	Yes	Yes	Yes	Yes
47173	10/12/2020	KAPP, ROBERT	ROBERT KAPP	DIRECT	\$ 12.00	Yes	Yes	Yes	Yes
47174	10/12/2020	LESHOK, BRIAN	BRION LESHOK	DIRECT	\$ 148.00	Yes	Yes	Yes	Yes
47175	10/12/2020	MCGLAUCHLEN, RODNEY	RODNEY MCGLAUCHLEN	DIRECT	\$ 149.00	Yes	Yes	Yes	Yes
47176	10/12/2020	MCGLAUCHLEN, TISTAN	TRISTAN MCGLAUCHLEN	DIRECT	\$ 54.00	Yes	Yes	Yes	Yes
47177	10/12/2020	MILLER, ERIN C	ERIN C MILLER	DIRECT	\$ 168.00	Yes	Yes	Yes	Yes
47178	10/12/2020	PETERS, JR, JOHN E.	JOHN E. PETERS, JR	DIRECT	\$ 65.00	Yes	Yes	Yes	Yes
47179	10/12/2020	PHILLIPS, STEVEN W.	STEVEN W. PHILLIPS	DIRECT	\$ 222.00	Yes	Yes	Yes	Yes
47180	10/12/2020	RIDLING JR, KENNETH	KENNETH RIDLING JR	DIRECT	\$ 137.00	Yes	Yes	Yes	Yes
47181	10/12/2020	ROLAND, ANTHONY	ANTHONY ROLAND	DIRECT	\$ 62.00	Yes	Yes	Yes	Yes
47182	10/12/2020	SCHLIPF, JACOB D	JACOB D SCHLIPF	DIRECT	\$ 72.00	Yes	Yes	Yes	Yes
47183	10/12/2020	SEGREST, ADAM P	ADAM P SEGREST	DIRECT	\$ 92.00	Yes	Yes	Yes	Yes
47184	10/12/2020	SHACKELFORD, AUSTIN	AUSTIN SHACKELFORD	DIRECT	\$ 32.00	Yes	Yes	Yes	Yes
47185	10/12/2020	SHIELDS, RICHARD C	RICHARD C SHIELDS	DIRECT	\$ 35.00	Yes	Yes	Yes	Yes
47186	10/12/2020	STINCHCOMB, GARRETT	RAYMOND GARRETT STINCHCOMB	DIRECT	\$ 121.00	Yes	Yes	Yes	Yes
47187	10/12/2020	WILLIAMS, LUCINDA M	LUCINDA M WILLIAMS	DIRECT	\$ 79.00	Yes	Yes	Yes	Yes
47188	10/12/2020	WORLEY, MATTHEW LEVI	MATTHEW LEVI WORLEY	DIRECT	\$ 290.00	Yes	Yes	Yes	Yes
47392	10/15/2020	AMAZON CAPITAL SERVICES	AMAZON CAPITAL SERVICES	DIRECT	\$ 249.99	Yes	Yes	Yes	Yes
47393	10/15/2020	DORAN, JENNIFER B	JENNIFER B DORAN	DIRECT	\$ 22.94	Yes	Yes	Yes	Yes
47397	10/28/2020	AMAZON CAPITAL SERVICES	AMAZON CAPITAL SERVICES	DIRECT	\$ 11,525.94	Yes	Yes	Yes	Yes
47400	10/28/2020	MESTRES, ADAM	ADAM MESTRES	DIRECT	\$ 229.50	Yes	Yes	Yes	Yes

MORGAN COUNTY GOVERNMENT
 VENDOR ELECTRONIC PAYMENTS REGISTER REPORT
 Executed By: lsayer

Page: 2
 Date: 10/29/20
 Time: 11:27:40

ETF NUMBER	ETF DATE	VENDOR IDENTIFICATION	VENDOR NAME	TYPE	AMOUNT	CHECKING	ACCOUNT #?	ROUTING #?	ACH	ACTIVE
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TOTAL TYPE: DIRECT DEPOSIT ACH FILE \$ 30,778.12

ELECTRONIC TYPE: DIRECT DRAFTED/TRANSFERRED FROM ACCOUNT

47399	10/02/2020	GRAVITY PAYMENTS	GRAVITY PAYMENTS	DIRECT	\$ 15.20	No	No	No	No	
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TOTAL TYPE: DIRECT DRAFTED/TRANSFERRED FROM ACCOUNT \$ 15.20

TOTAL BANK: 100-SUNTRUST \$ 30,793.32

TOTAL ALL ELECTRONIC TRANSFERS = \$ 30,793.32

MORGAN COUNTY GOVERNMENT
 FD-FUNC- EXPENDITURES SUMMARY REPORT
 for Fiscal Year 2021 (2020-2021 FISCAL YEAR)
 Posted and Distributed and Undistributed Figures
 Executed By: lsayer

Page: 1
 Date: 10/29/20
 Time: 11:24:53

Code	Description	Appropriations	Outstanding Encumbrances	Expenditures For	Expenditures OCTOBER	Expenditures Year-to-Date	Available Balance	Percent Used
FD 100 GENERAL FUND								
1100	LEGISLATIVE	\$ 104,178.00	\$ 0.00	\$ 6,025.44	\$ 32,739.17	\$ 71,438.83	31.43	
1130	CLERK OF COMMISSION	\$ 81,947.00	\$ 0.00	\$ 7,353.69	\$ 29,946.07	\$ 52,000.93	36.54	
1300	EXECUTIVE	\$ 175,301.00	\$ 0.00	\$ 17,440.30	\$ 49,140.32	\$ 126,160.68	28.03	
1400	ELECTIONS	\$ 173,343.00	\$ 0.00	\$ 18,321.39	\$ 41,410.45	\$ 131,932.55	23.89	
1510	FINANCIAL ADMINISTRATION	\$ 315,450.00	\$ 0.00	\$ 22,948.96	\$ 127,215.53	\$ 188,234.47	40.33	
1517	PURCHASING	\$ 100,792.00	\$ 0.00	\$ 8,693.55	\$ 36,398.08	\$ 64,393.92	36.11	
1530	LAW	\$ 100,000.00	\$ 0.00	\$ 0.00	\$ 14,730.00	\$ 85,270.00	14.73	
1535	MIS	\$ 485,080.00	\$ 3,749.50	\$ 43,234.14	\$ 188,271.29	\$ 293,059.21	39.59	
1540	HUMAN RESOURCES	\$ 62,568.00	\$ 0.00	\$ 5,608.72	\$ 23,340.51	\$ 39,227.49	37.30	
1545	TAX COMMISSIONER	\$ 302,246.00	\$ 0.00	\$ 24,097.89	\$ 89,228.28	\$ 213,017.72	29.52	
1550	TAX ASSESSOR	\$ 478,647.00	\$ 0.00	\$ 38,337.95	\$ 136,791.22	\$ 341,855.78	28.58	
1551	BOARD OF EQUALIZATION	\$ 19,815.00	\$ 0.00	\$ 5,557.06	\$ 10,127.52	\$ 9,687.48	51.11	
1555	RISK MANAGEMENT	\$ 274,685.00	\$ 0.00	\$ 286.57	\$ 223,303.58	\$ 51,381.42	81.29	
1565	GENERAL GOVERNMENT BUILDINGS AND	\$ 846,222.00	\$ 2,650.00	\$ 38,445.27	\$ 261,875.05	\$ 581,693.95	31.26	
1566	GENERAL GOV'T BUILDINGS - PUBLIC	\$ 141,060.00	\$ 0.00	\$ 10,453.42	\$ 41,654.08	\$ 99,405.92	29.53	
1580	RECORDS MANAGEMENT	\$ 14,307.00	\$ 0.00	\$ 1,331.06	\$ 3,698.83	\$ 10,608.17	25.85	
1595	GENERAL ADMINISTRATION FEES	\$ 749,969.00	\$ 0.00	\$ 0.00	\$ 18,235.00	\$ 731,734.00	2.43	
2150	SUPERIOR COURT	\$ 30,969.00	\$ 0.00	\$ 7,617.25	\$ 15,397.91	\$ 15,571.09	49.72	
2180	CLERK OF SUPERIOR COURT	\$ 523,515.00	\$ 0.00	\$ 41,165.42	\$ 134,525.84	\$ 388,989.16	25.70	
2200	DISTRICT ATTORNEY	\$ 84,143.00	\$ 0.00	\$ 6,956.83	\$ 44,147.11	\$ 39,995.89	52.47	
2400	MAGISTRATE COURT	\$ 355,066.00	\$ 0.00	\$ 31,141.74	\$ 111,309.13	\$ 243,756.87	31.35	
2450	PROBATE COURT	\$ 300,808.00	\$ 0.00	\$ 31,518.32	\$ 97,823.56	\$ 202,984.44	32.52	
2600	JUVENILE COURT	\$ 54,253.00	\$ 0.00	\$ 8,517.50	\$ 36,568.00	\$ 17,685.00	67.40	
2800	PUBLIC DEFENDER	\$ 62,772.00	\$ 0.00	\$ 0.00	\$ 62,771.18	\$ 0.82	100.00	
3310	LAW ENFORCEMENT ADMINISTRATION	\$ 592,230.00	\$ 0.00	\$ 38,482.01	\$ 157,857.72	\$ 434,372.28	26.65	
3321	CRIMINAL INVESTIGATION	\$ 411,291.00	\$ 0.00	\$ 35,222.93	\$ 147,555.79	\$ 263,735.21	35.88	
3323	UNIFORM PATROL	\$ 1,342,229.00	\$ 0.00	\$ 130,164.59	\$ 432,952.68	\$ 909,276.32	32.26	
3326	JAIL OPERATIONS	\$ 2,025,058.00	\$ 0.00	\$ 145,834.11	\$ 639,502.24	\$ 1,385,555.76	31.58	
3360	COURT SERVICES	\$ 250,158.00	\$ 0.00	\$ 23,458.30	\$ 77,596.80	\$ 172,561.20	31.02	
3500	FIRE	\$ 1,060,953.00	\$ 3,500.00	\$ 62,950.26	\$ 268,954.97	\$ 788,498.03	25.68	
3600	EMERGENCY MEDICAL SERVICES (EMS)	\$ 315,005.00	\$ 0.00	\$ 23,917.08	\$ 99,273.03	\$ 215,731.97	31.51	
3700	CORONER/MEDICAL EXAMINER	\$ 32,333.00	\$ 0.00	\$ 1,660.10	\$ 8,703.64	\$ 23,629.36	26.92	
3910	ANIMAL SERVICES	\$ 311,108.00	\$ 0.00	\$ 26,272.34	\$ 95,018.49	\$ 216,089.51	30.54	
3920	EMERGENCY MANAGEMENT	\$ 76,613.00	\$ 3,875.00	\$ 6,068.09	\$ 29,196.29	\$ 43,541.71	43.17	
4200	ROADS, STREETS, AND BRIDGES	\$ 990,450.00	\$ 3,045.44	\$ 67,648.09	\$ 238,331.65	\$ 749,072.91	24.37	
4900	MAINTENANCE AND SHOP	\$ 200,652.00	\$ 0.00	\$ 17,639.05	\$ 72,447.09	\$ 128,204.91	36.11	
5100	HEALTH	\$ 1,199,548.00	\$ 0.00	\$ 104,887.00	\$ 404,774.00	\$ 794,774.00	33.74	
5400	WELFARE	\$ 50,412.00	\$ 0.00	\$ 12,603.00	\$ 25,206.00	\$ 25,206.00	50.00	
5520	SENIOR CITIZENS CENTER	\$ 342,877.00	\$ 0.00	\$ 23,851.64	\$ 105,715.65	\$ 237,161.35	30.83	
5540	TRANSPORTATION SERVICES	\$ 403,261.00	\$ 0.00	\$ 27,477.88	\$ 98,010.83	\$ 305,250.17	24.30	
6120	YOUTH ATHLETICS	\$ 91,700.00	\$ 9,412.80	\$ 3,340.08	\$ 33,056.58	\$ 49,230.62	46.31	
6124	SWIMMING POOLS	\$ 111,400.00	\$ 0.00	\$ 5,143.89	\$ 34,527.64	\$ 76,872.36	30.99	
6125	ADULT ATHLETICS	\$ 11,700.00	\$ 0.00	\$ 433.04	\$ 3,920.34	\$ 7,779.66	33.51	
6180	SPECIAL RECREATIONAL FACILITIES-	\$ 3,900.00	\$ 0.00	\$ 0.00	\$ 448.94	\$ 3,451.06	11.51	
6190	SPECIAL EVENTS & PROGRAMS	\$ 46,950.00	\$ 0.00	\$ 0.00	\$ 2,768.18	\$ 44,181.82	5.90	
6200	PARKS	\$ 796,027.00	\$ 0.00	\$ 69,914.14	\$ 252,971.62	\$ 543,055.38	31.78	
6500	LIBRARIES	\$ 217,621.00	\$ 0.00	\$ 18,135.08	\$ 72,540.32	\$ 145,080.68	33.33	
7130	AGRICULTURAL RESOURCES	\$ 171,252.00	\$ 0.00	\$ 13,882.92	\$ 61,291.98	\$ 109,960.02	35.79	
7131	SOIL CONSERVATION	\$ 46,819.00	\$ 0.00	\$ 4,795.67	\$ 14,194.84	\$ 32,624.16	30.32	
7140	FOREST RESOURCES	\$ 30,260.00	\$ 0.00	\$ 0.00	\$ 14,879.00	\$ 15,381.00	49.17	
7200	PROTECTIVE INSPECTION	\$ 310,524.00	\$ 0.00	\$ 21,372.75	\$ 96,787.46	\$ 213,736.54	31.17	
7400	PLANNING AND ZONING	\$ 228,573.00	\$ 0.00	\$ 20,576.26	\$ 87,447.22	\$ 141,125.78	38.26	
7500	ECONOMIC DEVELOPMENT AND RESOURC	\$ 42,975.00	\$ 0.00	\$ 3,551.67	\$ 14,206.68	\$ 28,768.32	33.06	
8000	DEBT SERVICE	\$ 326,093.00	\$ 0.00	\$ 0.00	\$ 0.00	\$ 326,093.00	0.00	
9000	OTHER FINANCING USES	\$ 1,440,014.00	\$ 0.00	\$ 0.00	\$ 0.00	\$ 1,440,014.00	0.00	
100	GENERAL FUND	\$ 19,317,122.00	\$ 26,232.74	\$ 1,284,334.44	\$ 5,420,785.38	\$ 13,870,103.88	28.20	
GRAND TOTAL		\$ 19,317,122.00	\$ 26,232.74	\$ 1,284,334.44	\$ 5,420,785.38	\$ 13,870,103.88	28.20	

MORGAN COUNTY GOVERNMENT
 FD-FUNC-SOURCE REVENUES SUMMARY REPORT
 for Fiscal Year 2021 (2020-2021 FISCAL YEAR)
 Posted and Distributed and Undistributed Figures
 Executed By: Isayer

Page: 1
 Date: 10/29/20
 Time: 11:22:43

Code	Description	Estimated Revenue	Est. Revenue For	OCTOBER	For	Revenue OCTOBER	Revenue YTD	Unrealized Balance	Percent Real
FD 100 GENERAL FUND									
FUNC 1400 ELECTIONS									
33.1150	INDIRECT GRANT REVENUE	\$ 0.00	\$	0.00	\$	0.00	\$ 193.20	\$ 193.20-	100.00
33.4000	STATE GRANTS	\$ 0.00	\$	0.00	\$	0.00	\$ 2,500.73	\$ 2,500.73-	100.00
34.1910	ELECTION QUALIFYING FEE	\$ 2,500.00	\$	0.00	\$	0.00	\$ 0.00	\$ 2,500.00	0.00
1400	ELECTIONS	\$ 2,500.00	\$	0.00	\$	0.00	\$ 2,693.93	\$ 193.93-	107.76
FUNC 1515 TREASURY									
31.1100	REAL PROPERTY-CURRENT YEAR	\$ 10,193,474.00	\$	0.00	\$	437,969.23	\$ 444,067.68	\$ 9,749,406.32	4.36
31.1120	REAL PROPERTY-TIMBER	\$ 30,000.00	\$	0.00	\$	1,369.06	\$ 2,456.54	\$ 27,543.46	8.19
31.1200	REAL PROPERTY-PRIOR YEAR	\$ 50,000.00	\$	0.00	\$	1,324.67	\$ 5,176.36	\$ 44,823.64	10.35
31.1300	PERSONAL PROPERTY-CURRENT YEAR	\$ 15,000.00	\$	0.00	\$	225.84	\$ 567.13	\$ 14,432.87	3.78
31.1310	MOTOR VEHICLE	\$ 150,000.00	\$	0.00	\$	11,213.42	\$ 35,096.51	\$ 114,903.49	23.40
31.1315	MOTOR VEHICLE TAVT	\$ 1,200,000.00	\$	0.00	\$	117,236.71	\$ 357,602.14	\$ 842,397.86	29.80
31.1316	MOTOR VEHICLE AAVT	\$ 12,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 12,000.00	0.00
31.1320	MOBILE HOME	\$ 2,500.00	\$	0.00	\$	0.00	\$ 207.22	\$ 2,292.78	8.29
31.1340	INTANGIBLES (REGULAR AND RECORDIN	\$ 150,000.00	\$	0.00	\$	29,949.07	\$ 88,666.92	\$ 61,333.08	59.11
31.1350	RAILROAD EQUIPMENT	\$ 20,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 20,000.00	0.00
31.1400	PERSONAL PROPERTY-PRIOR YEAR	\$ 0.00	\$	0.00	\$	0.00	\$ 44.67	\$ 44.67-	100.00
31.1500	PROPERTY NOT ON DIGEST	\$ 10,000.00	\$	0.00	\$	5,311.71	\$ 5,311.71	\$ 4,688.29	53.12
31.1600	REAL ESTATE TRANSFER (INTANGIBLE)	\$ 70,000.00	\$	0.00	\$	9,242.70	\$ 22,544.68	\$ 47,455.32	32.21
31.1750	TELEVISION CABLE FRANCHISE TAX	\$ 7,500.00	\$	0.00	\$	0.00	\$ 107.10	\$ 7,392.90	1.43
31.3100	LOCAL OPTION SALES AND USE TAX	\$ 2,880,000.00	\$	0.00	\$	0.00	\$ 495,054.75	\$ 2,384,945.25	17.19
31.4200	ALCOHOLIC BEVERAGE EXCISE	\$ 40,000.00	\$	0.00	\$	4,773.74	\$ 17,772.44	\$ 22,227.56	44.43
31.6100	BUSINESS AND OCCUPATION TAXES	\$ 30,000.00	\$	0.00	\$	0.00	\$ 1,073.28	\$ 28,926.72	3.58
31.6200	INSURANCE PREMIUM TAXES	\$ 900,000.00	\$	0.00	\$	923,049.67	\$ 923,049.67	\$ 23,049.67-	102.56
31.6300	FINANCIAL INSTITUTIONS TAXES	\$ 32,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 32,000.00	0.00
31.9110	PEN & INT-REAL PROPERTY	\$ 50,000.00	\$	0.00	\$	43.07	\$ 2,387.76	\$ 47,612.24	4.78
31.9120	PEN & INT PERSONAL PROPERTY	\$ 1,000.00	\$	0.00	\$	60.97	\$ 163.71	\$ 836.29	16.37
31.9500	FI FA	\$ 7,500.00	\$	0.00	\$	185.00	\$ 1,690.00	\$ 5,810.00	22.53
32.1100	BUSINESS LICENSES-ALCOHOLIC BEVER	\$ 5,500.00	\$	0.00	\$	0.00	\$ 0.00	\$ 5,500.00	0.00
33.1150	INDIRECT GRANT REVENUE	\$ 0.00	\$	0.00	\$	0.00	\$ 714,336.53	\$ 714,336.53-	100.00
33.3000	FEDERAL GOVERNMENT PAYMENTS IN LI	\$ 500.00	\$	0.00	\$	0.00	\$ 0.00	\$ 500.00	0.00
33.5000	STATE GOVERNMENT FLPA	\$ 556,800.00	\$	0.00	\$	0.00	\$ 0.00	\$ 556,800.00	0.00
34.1400	PRINTING AND DUPLICATING SERVICES	\$ 250.00	\$	0.00	\$	0.00	\$ 0.00	\$ 250.00	0.00
34.1600	MOTOR VEHICLE TAG COLLECTION FEES	\$ 0.00	\$	0.00	\$	6,478.11	\$ 12,574.61	\$ 12,574.61-	100.00
34.1700	SEWER PLANT COST ALLOCATION	\$ 8,400.00	\$	0.00	\$	0.00	\$ 0.00	\$ 8,400.00	0.00
34.1900	PERMIT & OTHER FEES - MOVIES	\$ 15,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 15,000.00	0.00
34.1940	COMMISSIONS	\$ 375,000.00	\$	0.00	\$	15,500.62	\$ 17,811.61	\$ 357,188.39	4.75
34.1941	AGENT FEES	\$ 0.00	\$	0.00	\$	0.00	\$ 4,984.55	\$ 4,984.55-	100.00
34.1942	MAIL FEES	\$ 0.00	\$	0.00	\$	0.00	\$ 570.00	\$ 570.00-	100.00
34.9300	BAD CHECK FEES	\$ 500.00	\$	0.00	\$	0.00	\$ 75.00	\$ 425.00	15.00
35.1200	BONDS	\$ 1,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 1,000.00	0.00
35.1900	FINES AND FORFEITURES-OTHER	\$ 500.00	\$	0.00	\$	0.00	\$ 0.00	\$ 500.00	0.00
36.1000	INTEREST REVENUES	\$ 12,000.00	\$	0.00	\$	125.78	\$ 3,505.04	\$ 8,494.96	29.21
38.1000	RENTS AND ROYALTIES	\$ 260,000.00	\$	0.00	\$	21,432.95	\$ 84,219.96	\$ 175,780.04	32.39
38.3000	REIMBURSEMENT FOR DAMAGED PROPERT	\$ 0.00	\$	0.00	\$	3,474.25	\$ 3,474.25	\$ 3,474.25-	100.00
38.9000	MISCELLANEOUS REVENUE-OTHER	\$ 25,000.00	\$	0.00	\$	5,413.00	\$ 27,375.54	\$ 2,375.54-	109.50
39.2000	PROCEEDS OF CAPITAL ASSET DISPOSI	\$ 15,000.00	\$	0.00	\$	561.00	\$ 9,572.28	\$ 5,427.72	63.82
1515	TREASURY	\$ 17,126,424.00	\$	0.00	\$	1,594,940.57	\$ 3,281,539.64	\$ 13,844,884.36	19.16
FUNC 1550 TAX ASSESSOR									
34.9900	OTHER CHARGES FOR SERVICES-OTHER	\$ 5,000.00	\$	0.00	\$	0.00	\$ 175.00	\$ 4,825.00	3.50
FUNC 1580 RECORDS MANAGEMENT									
34.1400	PRINTING AND DUPLICATING SERVICES	\$ 500.00	\$	0.00	\$	0.00	\$ 0.00	\$ 500.00	0.00
37.1000	CONTRIBUTIONS AND DONATIONS FROM	\$ 500.00	\$	0.00	\$	0.00	\$ 120.00	\$ 380.00	24.00
1580	RECORDS MANAGEMENT	\$ 1,000.00	\$	0.00	\$	0.00	\$ 120.00	\$ 880.00	12.00
FUNC 2180 CLERK OF SUPERIOR COURT									
31.9900	PEN & INT OTHER-INTANGIBLE	\$ 1,500.00	\$	0.00	\$	0.00	\$ 0.00	\$ 1,500.00	0.00
34.1100	COURT COSTS, FEES, AND CHARGES	\$ 20,000.00	\$	0.00	\$	1,566.00	\$ 5,034.00	\$ 14,966.00	25.17

MORGAN COUNTY GOVERNMENT
 FD-FUNC-SOURCE REVENUES SUMMARY REPORT
 for Fiscal Year 2021 (2020-2021 FISCAL YEAR)
 Posted and Distributed and Undistributed Figures
 Executed By: lsayer

Page: 2
 Date: 10/29/20
 Time: 11:22:43

Code	Description	Estimated Revenue	Est. Revenue For	Revenue For	Revenue For	Revenue YTD	Unrealized Balance	Percent Real
34.1190	OTHER COURT COSTS, FEES & CHARGES	\$ 7,000.00	\$	0.00	\$ 1,440.50	\$ 576.50	7,576.50	-8.24
34.1200	RECORDING OF LEGAL INSTRUMENTS	\$ 65,000.00	\$	0.00	\$ 9,929.00	\$ 32,137.80	32,862.20	49.44
34.1400	PRINTING AND DUPLICATING SERVICES	\$ 25,000.00	\$	0.00	\$ 2,857.00	\$ 7,424.25	17,575.75	29.70
34.1941	TRANSFER TAX PROCESS FEE	\$ 500.00	\$	0.00	\$ 36.00	\$ 70.00	430.00	14.00
34.1944	INTANGIBLE COMMISSION	\$ 20,000.00	\$	0.00	\$ 0.00	\$ 0.00	20,000.00	0.00
34.2900	PUBLIC SAFETY-OTHER FEES	\$ 5,000.00	\$	0.00	\$ 300.00	\$ 1,500.00	3,500.00	30.00
35.1110	FINES AND FORFEITURES-SUPERIOR CO	\$ 80,000.00	\$	0.00	\$ 3,766.98	\$ 17,204.44	62,795.56	21.51
2180	CLERK OF SUPERIOR COURT	\$ 224,000.00	\$	0.00	\$ 17,014.48	\$ 62,793.99	161,206.01	28.03
FUNC 2400 MAGISTRATE COURT								
34.1100	COURT COSTS, FEES, AND CHARGES	\$ 15,000.00	\$	0.00	\$ 1,032.50	\$ 4,574.50	10,425.50	30.50
34.1190	OTHER COURT COSTS, FEES & CHARGES	\$ 500.00	\$	0.00	\$ 59.89	\$ 272.39	227.61	54.48
34.1400	PRINTING AND DUPLICATING SERVICES	\$ 500.00	\$	0.00	\$ 22.00	\$ 38.00	462.00	7.60
34.2900	PUBLIC SAFETY-OTHER FEES	\$ 40,000.00	\$	0.00	\$ 1,900.00	\$ 8,125.00	31,875.00	20.31
34.9300	BAD CHECK FEES	\$ 100.00	\$	0.00	\$ 0.00	\$ 0.00	100.00	0.00
35.1130	FINES AND FORFEITURES-MAGISTRATE	\$ 20,000.00	\$	0.00	\$ 1,195.04	\$ 5,265.63	14,734.37	26.33
35.1200	BONDS	\$ 500.00	\$	0.00	\$ 20.00	\$ 60.00	440.00	12.00
2400	MAGISTRATE COURT	\$ 76,600.00	\$	0.00	\$ 4,229.43	\$ 18,335.52	58,264.48	23.94
FUNC 2450 PROBATE COURT								
32.2400	MARRIAGE LICENSES	\$ 4,000.00	\$	0.00	\$ 620.00	\$ 955.60	3,044.40	23.89
32.2910	PISTOL PERMIT	\$ 14,000.00	\$	0.00	\$ 2,514.00	\$ 10,160.20	3,839.80	72.57
34.1190	OTHER COURT COSTS, FEES & CHARGES	\$ 18,000.00	\$	0.00	\$ 503.02	\$ 4,281.44	13,718.56	23.79
34.1945	ESTATE ADMIN	\$ 19,000.00	\$	0.00	\$ 2,064.00	\$ 5,938.00	13,062.00	31.25
34.1946	GUARDIANSHIP	\$ 4,000.00	\$	0.00	\$ 109.00	\$ 483.00	3,517.00	12.07
35.1150	FINES AND FORFEITURE-PROBATE COUR	\$ 400,000.00	\$	0.00	\$ 12,572.97	\$ 103,502.11	296,497.89	25.88
38.9000	MISCELLANEOUS REVENUE-OTHER	\$ 500.00	\$	0.00	\$ 30.00	\$ 46.00	454.00	9.20
2450	PROBATE COURT	\$ 459,500.00	\$	0.00	\$ 18,412.99	\$ 125,366.35	334,133.65	27.28
FUNC 2600 JUVENILE COURT								
35.1110	FINES AND FORFEITURES-SUPERIOR CO	\$ 500.00	\$	0.00	\$ 0.00	\$ 0.00	500.00	0.00
FUNC 3310 LAW ENFORCEMENT ADMINISTRATION								
33.1000	FEDERAL GOVERNMENT GRANTS	\$ 6,000.00	\$	0.00	\$ 0.00	\$ 8,022.84	2,022.84	133.71
34.1400	PRINTING AND DUPLICATING SERVICES	\$ 500.00	\$	0.00	\$ 0.00	\$ 0.00	500.00	0.00
34.2100	SPECIAL POLICE SERVICES	\$ 10,000.00	\$	0.00	\$ 845.00	\$ 2,455.00	7,545.00	24.55
34.2310	FINGERPRINTING FEES	\$ 500.00	\$	0.00	\$ 15.00	\$ 65.00	435.00	13.00
34.2900	PUBLIC SAFETY-OTHER FEES	\$ 2,000.00	\$	0.00	\$ 100.00	\$ 625.00	1,375.00	31.25
34.3000	REIMBURSEMENTS	\$ 120,000.00	\$	0.00	\$ 0.00	\$ 0.00	120,000.00	0.00
34.6400	BACKGROUND CHECK FEES	\$ 3,500.00	\$	0.00	\$ 210.00	\$ 670.00	2,830.00	19.14
3310	LAW ENFORCEMENT ADMINISTRATION	\$ 142,500.00	\$	0.00	\$ 1,170.00	\$ 11,837.84	130,662.16	8.31
FUNC 3326 JAIL OPERATIONS								
33.1100	FEDERAL GRANTS OPERATING CAT	\$ 0.00	\$	0.00	\$ 0.00	\$ 780.00	780.00	100.00
34.1100	COURT COSTS, FEES, AND CHARGES	\$ 9,000.00	\$	0.00	\$ 420.00	\$ 1,260.00	7,740.00	14.00
34.2320	INMATE MEDICAL FEE	\$ 1,000.00	\$	0.00	\$ 0.00	\$ 0.00	1,000.00	0.00
34.2330	PRISONER HOUSING FEE	\$ 20,000.00	\$	0.00	\$ 2,175.00	\$ 4,170.00	15,830.00	20.85
38.2000	TELEPHONE COMMISSIONS	\$ 40,000.00	\$	0.00	\$ 4,564.79	\$ 12,984.70	27,015.30	32.46
39.1200	TRANSFER IN FROM RESTRICTED FUNDS	\$ 40,000.00	\$	0.00	\$ 0.00	\$ 0.00	40,000.00	0.00
3326	JAIL OPERATIONS	\$ 110,000.00	\$	0.00	\$ 7,159.79	\$ 19,194.70	90,805.30	17.45
FUNC 3910 ANIMAL CONTROL								
33.4100	STATE GRANTS OPERATING CAT	\$ 0.00	\$	0.00	\$ 1,000.00	\$ 1,000.00	1,000.00	100.00
34.6100	ANIMAL CONTROL AND SHELTER FEES	\$ 10,000.00	\$	0.00	\$ 700.00	\$ 2,741.75	7,258.25	27.42
37.1000	DONATIONS	\$ 0.00	\$	0.00	\$ 100.00	\$ 100.00	100.00	100.00
3910	ANIMAL CONTROL	\$ 10,000.00	\$	0.00	\$ 1,800.00	\$ 3,841.75	6,158.25	38.42
FUNC 3920 EMERGENCY MANAGEMENT								
33.1150	FEDERAL INDIRECT OPERATING GRANT	\$ 19,151.00	\$	0.00	\$ 0.00	\$ 0.00	19,151.00	0.00
37.1000	CONTRIBUTIONS AND DONATIONS FROM	\$ 2,000.00	\$	0.00	\$ 0.00	\$ 0.00	2,000.00	0.00
3920	EMERGENCY MANAGEMENT	\$ 21,151.00	\$	0.00	\$ 0.00	\$ 0.00	21,151.00	0.00

Item4.

MORGAN COUNTY GOVERNMENT
 FD-FUNC-SOURCE REVENUES SUMMARY REPORT
 for Fiscal Year 2021 (2020-2021 FISCAL YEAR)
 Posted and Distributed and Undistributed Figures
 Executed By: lsayer

Page: 3
 Date: 10/29/20
 Time: 11:22:43

Code	Description	Estimated Revenue	Est. Revenue For	OCTOBER	Revenue For	OCTOBER	Revenue YTD	Unrealized Balance	Percent Real

FUNC 5520 SENIOR CITIZENS CENTER									
33.1100	FEDERAL GRANTS OPERATING CAT	\$ 60,000.00	\$	0.00	\$	5,031.81	\$ 5,031.81	\$ 54,968.19	8.39
33.4100	STATE GRANTS OPERATING CAT	\$ 27,950.00	\$	0.00	\$	2,223.81	\$ 2,223.81	\$ 25,726.19	7.96
34.7200	ACTIVITY FEES	\$ 7,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 7,000.00	0.00
36.1000	INTEREST REVENUES-SENIOR CENTER	\$ 200.00	\$	0.00	\$	0.00	\$ 138.83	\$ 61.17	69.42
37.1000	CONTRIBUTIONS AND DONATIONS FROM	\$ 15,000.00	\$	0.00	\$	238.00	\$ 920.00	\$ 14,080.00	6.13
37.1001	DONATIONS-FAMILY TIES	\$ 5,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 5,000.00	0.00
37.1002	DONATIONS-TRIP	\$ 20,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 20,000.00	0.00
38.9000	MISCELLANEOUS REVENUE-FUNDRAISING	\$ 10,000.00	\$	0.00	\$	193.00	\$ 442.00	\$ 9,558.00	4.42

5520	SENIOR CITIZENS CENTER	\$ 145,150.00	\$	0.00	\$	7,686.62	\$ 8,756.45	\$ 136,393.55	6.03

FUNC 5540 TRANSPORTATION SERVICES									
33.1100	FEDERAL GRANTS OPERATING-DOT 5311	\$ 218,039.00	\$	0.00	\$	0.00	\$ 0.00	\$ 218,039.00	0.00
33.1101	FEDERAL GRANTS OPERATING-NGRC	\$ 75,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 75,000.00	0.00
34.5500	TRANSIT-PASSENGER FARES	\$ 25,000.00	\$	0.00	\$	335.25	\$ 3,457.75	\$ 21,542.25	13.83

5540	TRANSPORTATION SERVICES	\$ 318,039.00	\$	0.00	\$	335.25	\$ 3,457.75	\$ 314,581.25	1.09

FUNC 6120 YOUTH ATHLETICS									
34.7500	PROGRAM FEES	\$ 98,000.00	\$	0.00	\$	573.00	\$ 27,023.23	\$ 70,976.77	27.57
37.1000	CONTRIBUTIONS AND DONATIONS FROM	\$ 15,000.00	\$	0.00	\$	2,725.00	\$ 4,455.00	\$ 10,545.00	29.70

6120	YOUTH ATHLETICS	\$ 113,000.00	\$	0.00	\$	3,298.00	\$ 31,478.23	\$ 81,521.77	27.86

FUNC 6124 SWIMMING POOLS									
34.7200	ACTIVITY FEES	\$ 16,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 16,000.00	0.00
34.7500	PROGRAM FEES	\$ 60,000.00	\$	0.00	\$	1,577.63	\$ 6,281.13	\$ 53,718.87	10.47

6124	SWIMMING POOLS	\$ 76,000.00	\$	0.00	\$	1,577.63	\$ 6,281.13	\$ 69,718.87	8.26

FUNC 6125 ADULT ATHLETICS									
34.7500	PROGRAM FEES	\$ 7,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 7,000.00	0.00
34.7900	CONCESSIONS	\$ 8,500.00	\$	0.00	\$	0.00	\$ 722.50	\$ 7,777.50	8.50

6125	ADULT ATHLETICS	\$ 15,500.00	\$	0.00	\$	0.00	\$ 722.50	\$ 14,777.50	4.66

FUNC 6180 SPECIAL RECREATIONAL FACILITIES-AG CENTER									
37.1000	CONTRIBUTIONS AND DONATIONS FROM	\$ 1,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 1,000.00	0.00
38.1000	RENTS AND ROYALTIES	\$ 5,000.00	\$	0.00	\$	3,550.00	\$ 3,550.00	\$ 1,450.00	71.00
38.9000	MISCELLANEOUS REVENUE-OTHER	\$ 500.00	\$	0.00	\$	0.00	\$ 0.00	\$ 500.00	0.00

6180	SPECIAL RECREATIONAL FACILITIES-A	\$ 6,500.00	\$	0.00	\$	3,550.00	\$ 3,550.00	\$ 2,950.00	54.62

FUNC 6190 SPECIAL FACILITIES AND ACTIVITIES									
34.7500	PROGRAM FEES	\$ 76,500.00	\$	0.00	\$	715.00	\$ 3,005.00	\$ 73,495.00	3.93

FUNC 6200 PARKS									
34.7200	ACTIVITY FEES	\$ 0.00	\$	0.00	\$	765.00	\$ 3,730.00	\$ 3,730.00	100.00
34.7501	PROGRAM FEES REFUNDS	\$ 2,500.00	\$	0.00	\$	60.00	\$ 4,957.50	\$ 2,457.50	198.30

6200	PARKS	\$ 2,500.00	\$	0.00	\$	705.00	\$ 1,227.50	\$ 1,272.50	49.10

FUNC 7131 SOIL CONSERVATION									
34.3000	REIMBURSEMENTS	\$ 20,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 20,000.00	0.00

FUNC 7200 PROTECTIVE INSPECTION									
32.3100	BUILDING STRUCTURES AND EQUIPMENT	\$ 275,000.00	\$	0.00	\$	0.00	\$ 70,887.66	\$ 204,112.34	25.78
32.3130	PLUMBING INSPECTION	\$ 12,000.00	\$	0.00	\$	0.00	\$ 3,307.03	\$ 8,692.97	27.56
32.3140	ELECTRICAL INSPECTION	\$ 20,000.00	\$	0.00	\$	0.00	\$ 4,338.75	\$ 15,661.25	21.69
32.3160	AIR CONDITIONING INSPECTION	\$ 20,000.00	\$	0.00	\$	0.00	\$ 4,551.65	\$ 15,448.35	22.76
32.3900	REGULATORY FEES-OTHER	\$ 7,000.00	\$	0.00	\$	0.00	\$ 4,261.00	\$ 2,739.00	60.87

7200	PROTECTIVE INSPECTION	\$ 334,000.00	\$	0.00	\$	0.00	\$ 87,346.09	\$ 246,653.91	26.15

FUNC 7400 PLANNING AND ZONING									
32.2230	SIGN PERMITS	\$ 500.00	\$	0.00	\$	0.00	\$ 51.50	\$ 448.50	10.30

Item4.

MORGAN COUNTY GOVERNMENT
 FD-FUNC-SOURCE REVENUES SUMMARY REPORT
 for Fiscal Year 2021 (2020-2021 FISCAL YEAR)
 Posted and Distributed and Undistributed Figures
 Executed By: lsayer

Page: 4
 Date: 10/29/20
 Time: 11:22:43

Code	Description	Estimated Revenue	Est. Revenue For	OCTOBER	For	Revenue OCTOBER	Revenue YTD	Unrealized Balance	Percent Real
34.1300	PLANNING AND DEVELOPMENT FEES AND	\$ 7,500.00	\$	0.00	\$	0.00	\$ 3,022.50	\$ 4,477.50	40.30
34.1390	OTHER PLANNING & DEVL P FEES AND C	\$ 1,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 1,000.00	0.00
34.1400	PRINTING AND DUPLICATING SERVICES	\$ 500.00	\$	0.00	\$	0.00	\$ 25.00	\$ 475.00	5.00
7400	PLANNING AND ZONING	\$ 9,500.00	\$	0.00	\$	0.00	\$ 3,099.00	\$ 6,401.00	32.62
FUNC 7500 ECONOMIC DEVELOPMENT AND ASSISTANCE									
39.1200	TRANSFER IN FROM HOTEL/MOTEL	\$ 20,000.00	\$	0.00	\$	0.00	\$ 0.00	\$ 20,000.00	0.00
FUNC 8000 DEBT SERVICE									
33.6000	INTERGOVERNMENTAL REVENUE	\$ 6,258.00	\$	0.00	\$	0.00	\$ 0.00	\$ 6,258.00	0.00
100	GENERAL FUND	\$ 19,317,122.00	\$	0.00	\$	1,662,594.76	\$ 3,672,367.37	\$ 15,644,754.63	19.01
GRAND TOTAL		\$ 19,317,122.00	\$	0.00	\$	1,662,594.76	\$ 3,672,367.37	\$ 15,644,754.63	19.01

BANK ID EFT	BANK NAME	ACCOUNT NO	ACTIVE	CHECKING	CASH CODE	CURRENT BALANCE	LAST CHECK	LAST
100-SUNTRUST 47639	GENERAL POOLED-SUNTRUST	0005603200147	Yes	Yes	11.1110	\$ 5,573,688.13	35115	
285-SUNTRUST 13	SPECIAL REVENUE-SUNTRUST	5600034705	Yes	Yes	285-11.1114	\$ 228,991.38	337	
335-SUNTRUST 1	TSPLOST-SUNTRUST	1000247532723	Yes	Yes	335-11.1116	\$ 2,299,959.32	433	
BANK OF MADISON 0	BANK OF MADISON MNY MKT	2131522	Yes	Yes	100-11.1113	\$ 1,030,700.93	0	
SENIOR CENTER 4	SENIOR CITIZENS-BANK OF MADISO	2122257	Yes	Yes	100-11.1112	\$ 58,046.82	0	
SPLOST POOLED 16	SPLOST POOLED ACCOUNT-SUNTRUST	1000054819643	Yes	Yes	11.1115	\$ 2,199,080.24	2976	

ACTIVE TOTAL: 6
 CHECKING TOTAL: 6
 RECORD COUNT: 6
 CURRENT BANK BALANCE TOTAL: \$ 11,390,466.82

November 2020

SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
1	2 6:00 p.m.-City of Bostwick Council Mtg. @ 5941 Bostwick Rd.	3 10:00 a.m.-BOC Mtg. @ Admin. Bldg.	4	5	6	7
8	9 5:30 p.m.-City of Madison Council Mtg. @ Public Safety Mtg. Hall	10	11 County Holiday-Veterans Day	12	13	14
15	16 7:00 p.m.-Buckhead City Council @ Buckhead Fire Station	17 5:00 p.m.-BOC Mtg. @ Admin. Bldg. 7:00 p.m.-Rutledge City Council @ 112 Martha Ln.	18 8:15 a.m.-Chamber Board of Directors Mtg. @ Chamber Office 9:00 a.m.-Tax Assessors Mtg. @ Admin. Bldg.	19 10:00 a.m.-Board of Elections @ Elections Office 11:00 p.m.-N.E. GA Regional Commission 7:00 p.m.-Planning Comm. Mtg. @ Admin. Bldg. 2nd Floor Conf. Rm.	20 8:00 a.m.-Planning Comm. Work Session @ Admin. Bldg. 2nd Floor Conf. Rm. 12:00 p.m.-Annual Employee Luncheon	21
22	23 5:00 p.m.-Hospital Finance Committee @ Education Room	24	25	26 County Closed-Thanksgiving Holidays Nov. 26 & 27	27	28
29	30	1	2	3	4	5
6	7	NOTES				

December 2020

SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
29	30	1 10:00 a.m.-BOC Mtg. @ Admin. Bldg.	2	3	4	5
6	7 6:00 p.m.-City of Bostwick Council Mtg. @ 5941 Bostwick Rd. 6:00 p.m.-Fire Chief Council @ PSC	8	9 8:15 a.m.-Chamber Board of Directors Mtg. @ Chamber Office	10	11	12
13	14 5:30 p.m.-City of Madison Council Mtg. @ Public Safety Mtg. Hall	15 5:00 p.m.-BOC Mtg. @ Admin. Bldg. 7:00 p.m.-Rutledge City Council @ 112 Martha Ln.	16 9:00 a.m.-Tax Assessors Mtg. @ Admin. Bldg.	17 10:00 a.m.-Board of Elections @ Elections Office 12:00 p.m.-N.E. GA Regional Commission @ Holiday Day Inn Athens 7:00 p.m.-Planning Comm. Mtg. @ Admin. Bldg. 2nd Floor Conf. Rm.	18 8:00 a.m.-Planning Comm. Work Session @ Admin. Bldg. 2nd Floor Conf. Rm.	19
20	21 7:00 p.m.-Buckhead City Council @ Buckhead Fire Station	22	23	24 County Closed-Christmas Holidays Dec. 24 & 25	25	26
27	28 5:00 p.m.-Hospital Finance Committee @ Education Room	29	30	31 5:30 p.m.-Hospital Authority Mtg. @ Education Room	1	2
3	4	NOTES				



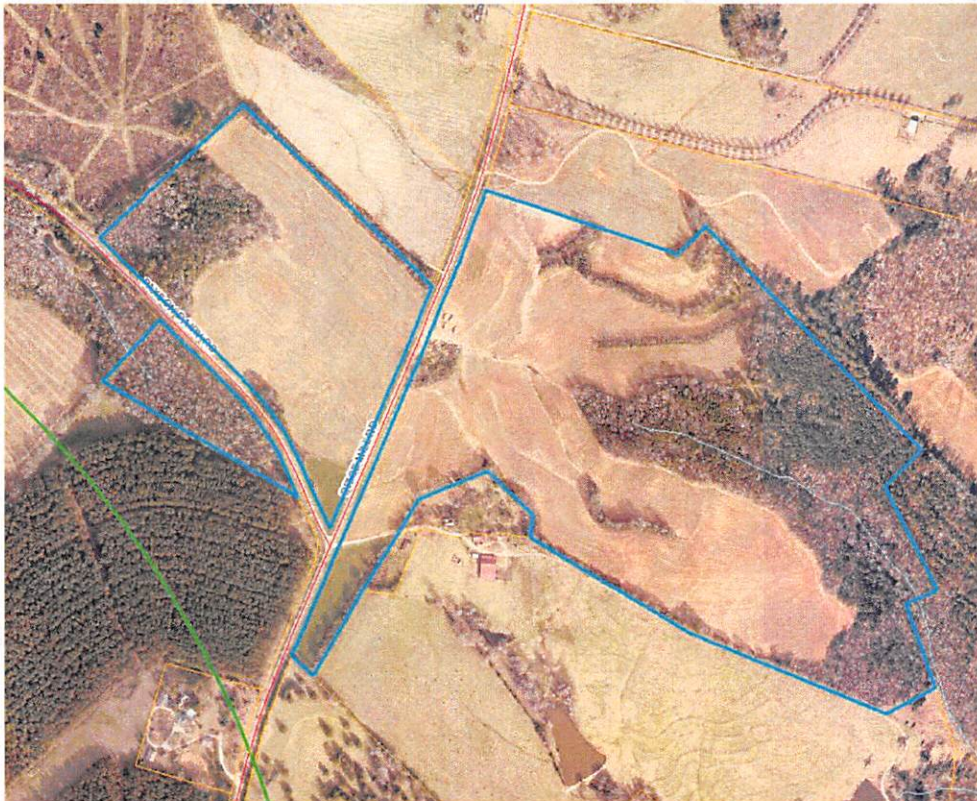
STAFF REPORT

MORGAN COUNTY PLANNING COMMISSION

PETITION FOR: CONDITIONAL USE – TELECOMMUNICATIONS TOWER

Property location: Paxson Dairy Road, near intersection with Price Mill Road
Property tax parcel: 007-026
Acreage: 149.6 acres
Applicant: Verizon
Applicant's Agent: Kiersten Lurer
Property Owner: Mark G. Ruark and J. Marvin Ruark, Bostwick, Georgia
Existing Use: Vacant
Proposed Use: Telecommunications tower

Summary



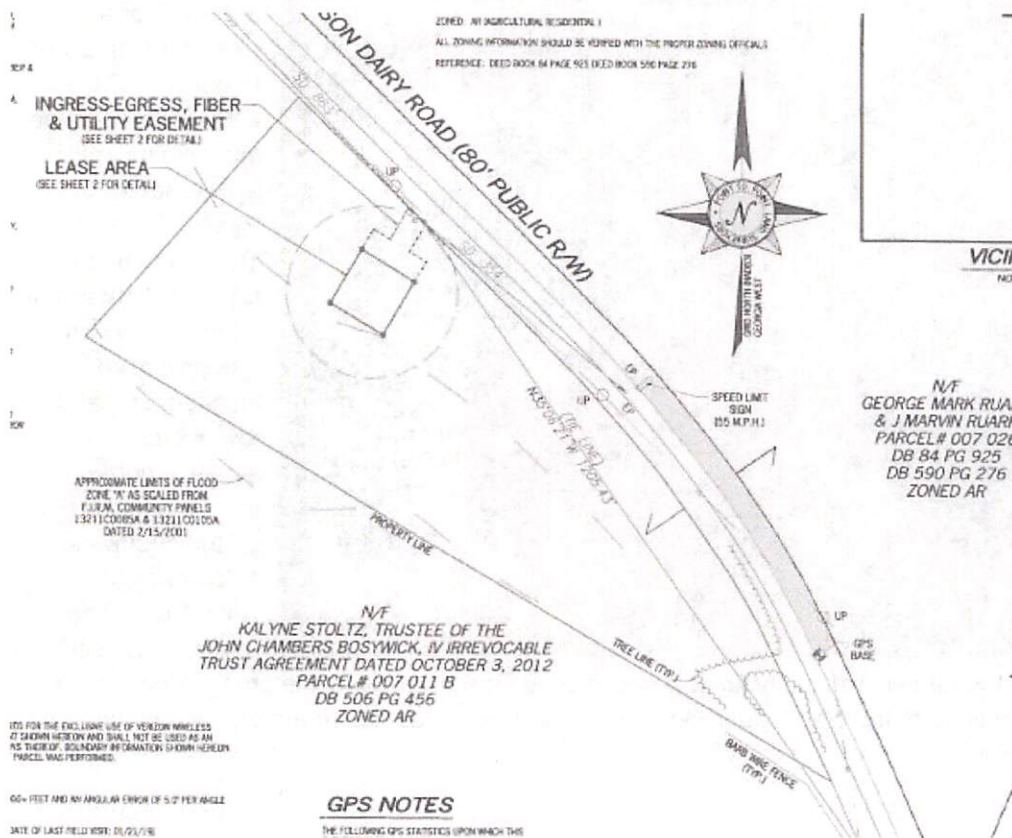
Kiersten Lurer, on behalf of Verizon, is requesting conditional use approval for a telecommunications tower on 149.6 acres located at the intersection of Price Mill Road and Paxson Dairy Road. The property is one tax parcel but is split into three pieces. The proposed location for the tower is on the smallest portion of the parcel, which is on the southwest side of Paxson Dairy Road. The parcel is wooded.

The larger portions of the parcel are mostly fields and are used for row crops by the property owners. The parcel is located just outside of the city limits of Bostwick, which is indicated by the green line on the left side of the photo, above.



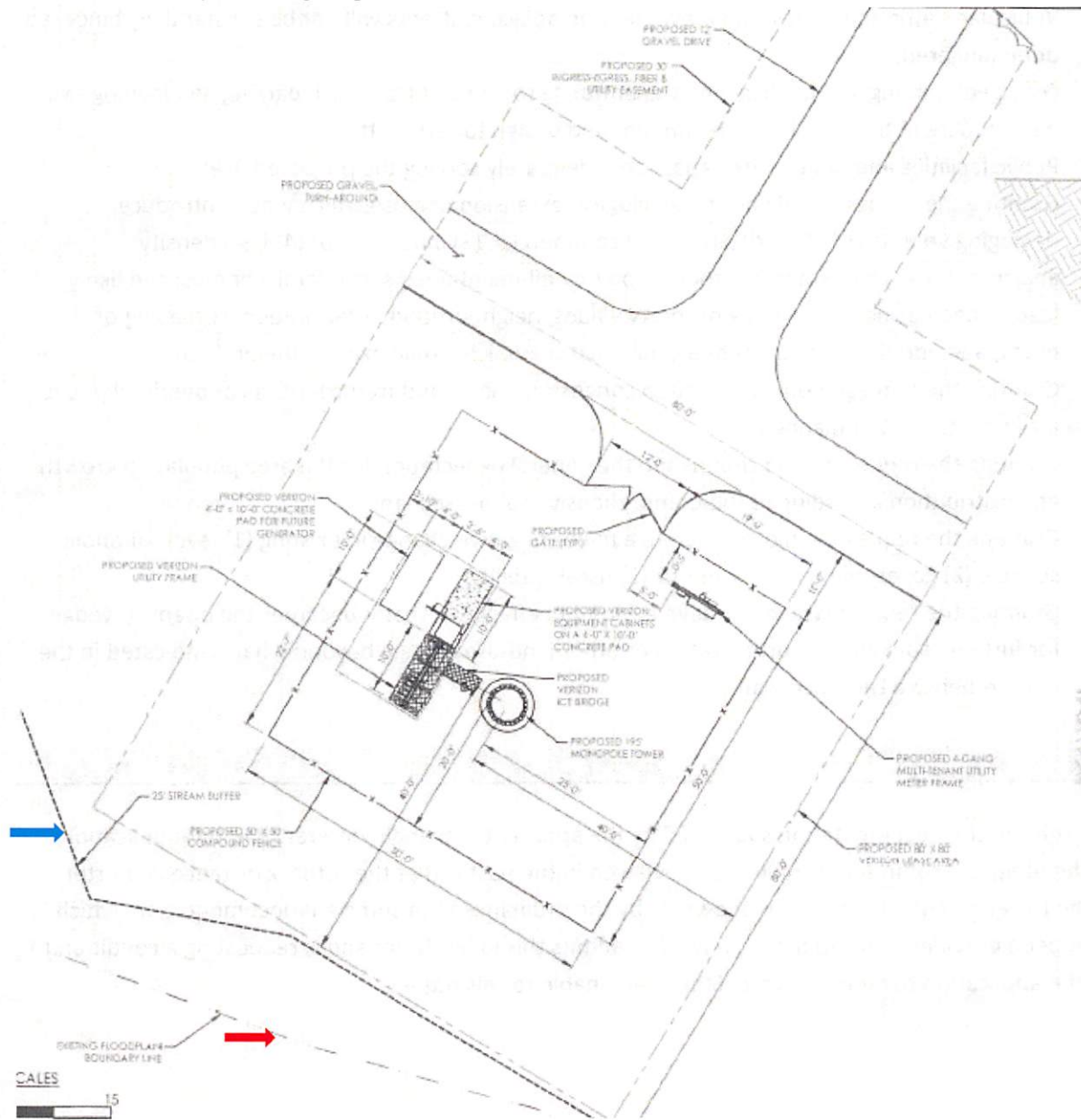
The portion of the larger parcel proposed for the tower location is separated from the rest of the parcel by Paxson Dairy Road. The property contains mostly hardwoods and has a stream at the northern end of the property, most likely coming from a spring located on the property. The property contains floodplain, as indicated by the light blue outline over the aerial on the left.

The drawing below is from documentation submitted by the applicant. It shows the proposed location of the tower on the property. The circle around the square tower lease area represents 111' radius around the tower. According to the applicant's letter, this is the proposed fall zone. Morgan County's telecommunications ordinance requires the tower to be placed on the property so that adjacent properties will not be affected if the tower should fall.



Tower applicants in the past have interpreted this language to mean that the tower must be set back from property lines a distance equal to or greater than the height of the tower. However, the language actually says that the "equal to or greater" setback applies to residential structures.

Section 7.26.4 requires telecommunications towers to be set back from any property line a sufficient distance to protect adjoining property from the potential impact of a tower failure large enough to contain the failure on the property, and requires an engineer's letter to certify that distance is adequate. For this application, the 195' tall tower is only 110' from front property line. The applicant, in her letter, is asking for a condition to be placed on the approval of the tower for such documentation to be submitted at the permitting stage.



The above drawing is from documentation submitted by the applicant, which shows the location of the monopole tower within the square lease area. It also depicts the floodplain location (red arrow) and the 25' state stream buffer (blue arrow) to show that the tower lease area is outside of both.

Criteria for Consideration

Section 21.3.1 Required Findings from Conditional Use Approval from the Morgan County Zoning Ordinance:

1. Adequate provision is made by the applicant to reduce any adverse environmental impacts of the proposed use to an acceptable level;
2. Vehicular traffic and pedestrian movement on adjacent streets will not be substantially hindered or endangered;
3. Off-street parking and loading, and the entrance to and exit from such parking and loading, will be adequate in terms of location, amount and design to service the use;
4. Public facilities and utilities are capable of adequately serving the proposed use;
5. Granting the request would not be an illogical extension of a use which would introduce damaging volumes of (1) agricultural, (2) commercial, (3) industrial, or (4) high density apartment use into a stable neighborhood of well-maintained single family homes, and likely lead to decreasing surrounding property values, neighborhood deterioration, spreading of blight, and additional requests of a similar nature which would expand the problem;
6. Granting the request would not lead to congestion, noise and traffic hazards or overload public facilities, current or planned;
7. Granting the request would conform to the general expectation for the area population growth and distribution according to the Comprehensive Land Use Plan;
8. Granting the request would not lead to a major negative change in existing (1) levels of public service, (2) government employees or (3) fiscal stability;
9. Granting the request would not have a "domino effect," in that it becomes the opening wedge for further rapid growth, urbanization or other land-use change beyond what is indicated in the Comprehensive Land Use Plan.

Staff Comments

Please refer to the documentation submitted by the applicant. The main difference in this application from the other telecommunication towers reviewed in the past is that the setback distance is shorter than the tower height. This option is allowable by the ordinance with sufficient documentation, which has not been provided. The applicant, however, admits this in her letter and is requesting a condition to allow the application to move forward. Staff is amenable to this request.



P. Marshall and Associates, LLC
1000 Holcomb Woods Parkway
Suite 210 Roswell, GA 30076
Tel: (678) 280-2325
Fax: (678) 280-2329
Email: info@pmass.com

July 20, 2020

Morgan County Planning & Development
ATTN: Chuck Jarrell, Director
150 E. Washington Street, Ste. 200
Madison, Georgia 30650
706.342.4373

RE: Letter of Intent for Proposed "Price Mill Road" Telecommunications Facility to be located off Paxson Dairy Road (Parcel ID: 007-026) via CUP

Dear Mr. Jarrell:

This Letter of Intent and accompanying material are submitted in support of the above-referenced Conditional Use Permit Application. Verizon Wireless will serve as the anchor tenant at this Facility. Verizon respectfully requests approval of this permit to enable Verizon to serve existing and future customers in a manner consistent with the Telecommunications Act of 1996.

After several months of study in finding a suitable site, Verizon is proposing to have a new, unmanned communications facility constructed off of Paxson Dairy Road. This new Facility is needed to provide *capacity* relief (offload traffic) to Verizon's existing "Bostwick" site. It will also improve coverage to the site's service area, which includes Paxson Dairy Road, Price Mill Road and Echols Road, in the northern portion of the County, northeast of Bostwick. Finally, the Site will provide improved service between sites that are now stretching to serve customers in this area. This proposed facility will consist of a 195' monopole-style tower (+ 3' lightning rod = 198' overall height), inside a 50' x 50' fenced compound that will include corresponding ground equipment. Said compound will be surrounded by a minimum 10' wide landscape buffer made of existing foliage to effectively screen the ground equipment.

The demand for wireless communication continues to grow in this area and makes this an important location for Verizon. In addition to providing service to its customers, the additional infrastructure will provide needed capacity for coverage of 911 emergency calls, transfer of calls from subscribers of other systems, while reducing the need for additional towers in the immediate vicinity.

Approach to a Solution

The design objective of this Verizon Search Ring is to provide *capacity* relief (offload traffic) to Verizon's existing "Bostwick" site. The Site will also improve *coverage* to the site's service area, which includes Paxson Dairy Road, Price Mill Road and Echols Road, in the northern portion of

the County, northeast of Bostwick and nearby farms and residential areas. Our first step is always to investigate existing structures for co-location. Unfortunately, there are no existing structures in the RF-designed search area. Morgan County's Telecommunications Code was reviewed, as were a variety of maps (topography, parcel size, zoning, hydrology, floodplain, etc.) compiled and analyzed for potential candidate sites. The search ring was super-imposed on these various maps to aid in evaluation of options and concurrent evaluation of issues. FCC's database of communications facilities was reviewed to make sure we had not overlooked any options within or immediately adjacent to the search area. There are no existing towers in the Search Ring or nearby. The closest existing tower is (Pinnacle Towers) located 2.55 miles southeast of the proposed site and Verizon is currently located on it. Please refer to the Propagation Maps in Tab 2 (slides 3 & 4) to aid in a visual explanation as to why this Site is needed.

The Area

The RF-issued Search Ring is comprised of properties zoned AR (Agriculture Residential) and AG (Agriculture.) The subject parcel is a 149+-acre tract that is mostly wooded, with some greenspace. It is zoned AR and surrounded by AR to the north, east and southeast and the City of Bostwick to the southwest.

This Telecommunications Facility will be setback from Paxson Dairy Rd ROW to the NE 110 feet; it will be 237 feet to the NW property line, 239 feet to the SW property line and 1,168 feet to Price Mill Rd ROW to the SE. The closest residential structure is approximately 0.32 miles southeast of the proposed site. The monopole-style tower is designed to collapse upon itself in two to three sections in the case of structural failure. Applicant shall provide the County with Tower Design Drawings sealed by a GA Engineer—at the Permitting stage, assuming approval—which will confirm the tower will remain with the subject property lines (at a maximum distance of 98 linear feet) and we request this be a Condition of Approval.

The Facility

The proposed Facility will be constructed in accordance with the applicable County, State and Federal laws. Due to the proposed tower's height and location, no FAA registration is required and therefore the tower will not be lighted.

Once constructed, the facility will be unmanned and will have no distinguishable contribution to local traffic. Only monthly maintenance visits in a standard pickup truck are anticipated—each lasting up to thirty minutes—barring any emergency. The facility will not have water or sewer services, and it will not generate any waste. The only utility connections required are electric



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Email: info@pmass.com

and T-1 (telephone) services. The electricity demand will be similar to that of a single-family residence. The facility will not create a significant demand for community services. In fact, it will provide a service to the community in the form of safe, reliable and uninterrupted PCS service for use by the general public, emergency services personnel and others regardless of their chosen carrier in this portion of Morgan County.

Closing

The applicant believes this submission generally complies with the goals of Morgan County's Government as well as the specific requirements and intentions of Chapter 7.26 in the Code of Ordinances. Therefore, Applicant hereby respectfully requests that the Board of Commissioners approve this Application as submitted. We are aware of no needed Variance but ask this application be considered as covering such a contingency and that we not be required to initiate a separate review process. We anticipate a smooth review of our application, but raise necessary constitutional objections, because it is required under Georgia law to preserve our right to appeal.

I am happy to answer any questions the County may have or provide additional information regarding this application. Please feel free to contact me if I can be of further assistance.

Sincerely,

Kiersten Lurer
Authorized Agent for Verizon
klurer@pmass.com
404.664.2718



10300 Old Alabama Connector Road
Alpharetta, GA 30022-1117

08/14/2020

RE: Verizon New Build NEAR PRICEMILL ROAD BISHOP, GA 30621
PARCEL ID: 007 026 (Verizon Site: Price Mill Rd. PSLC 500310)

To Whom It May Concern:

This is in response to your request to Verizon Wireless concerning interference to your existing telecommunications devices and services related to our proposed facilities. Verizon Wireless provides Commercial Mobile Radio Services ("CMRS") under licenses granted by the Federal Communications Commission ("FCC"). Pursuant to these licenses, Verizon Wireless is authorized to provide CMRS and operate a CMRS network in many geographic areas throughout the nation, including Bishop, GA. Microwave facilities only – "In many cases, Verizon Wireless CMRS networks employ microwave transmission facilities also authorized under FCC license."

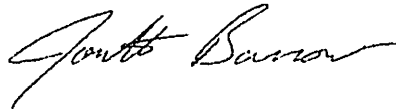
The FCC exclusively regulates all technical aspects of Verizon Wireless' operations and network and preempts all state and local regulation of radiofrequency transmissions. The FCC rules protect co-channel and adjacent licensees against harmful interference.

The above noted proposed Verizon Wireless facility is in compliance with all applicable FCC requirements. The following points cover Verizon Wireless' practices pertinent to complying with the FCC requirements:

1. Verizon Wireless locates its transmitting antenna(s) in order to maximize vertical and horizontal separation from other operator's systems to minimize interference potential.
2. All operating hardware at the site is type-accepted by the FCC as far as emission levels within our licensed frequency band in addition to spurious emissions outside of our frequency band.
3. The power levels generated by the base station hardware and corresponding effective radiated power (ERP) from the transmit antenna(s) are within the limitations specified by Part 22 (for cellular), Part 24 (for PCS), Part 27 (for 700 MHz or AWS) or Part 101 (for microwave) of the Commission's Rules.
4. Intermodulation studies are prepared and analyzed considering all carriers on our tower to ensure no mixing of frequencies will create harmful interference to / from our wireless system.

Verizon Wireless is committed to providing state of the art wireless services that benefit your community. If you have any questions please feel free to contact me.

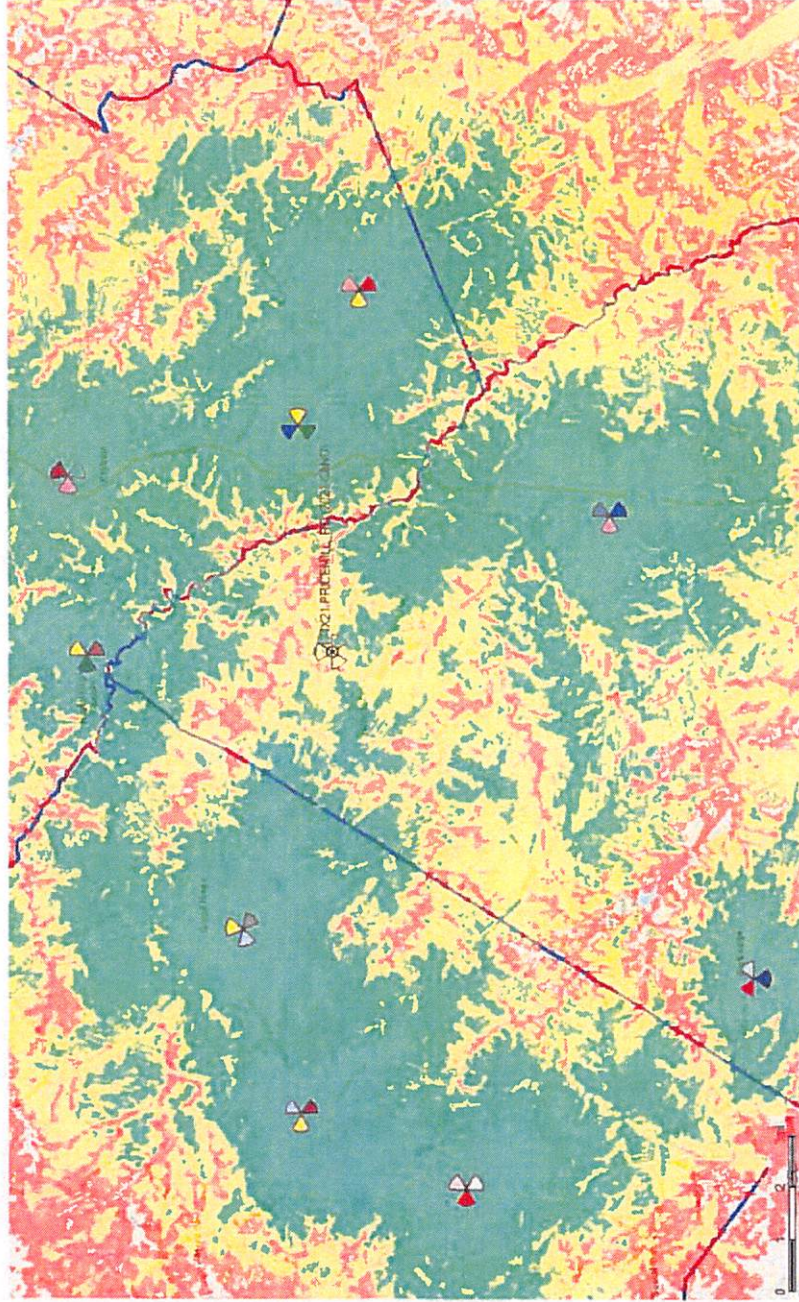
Sincerely,



verizon^v

Jonathan Barrow
Sr. RF Engineer
jonathan.barrow@vzw.com

Existing Coverage

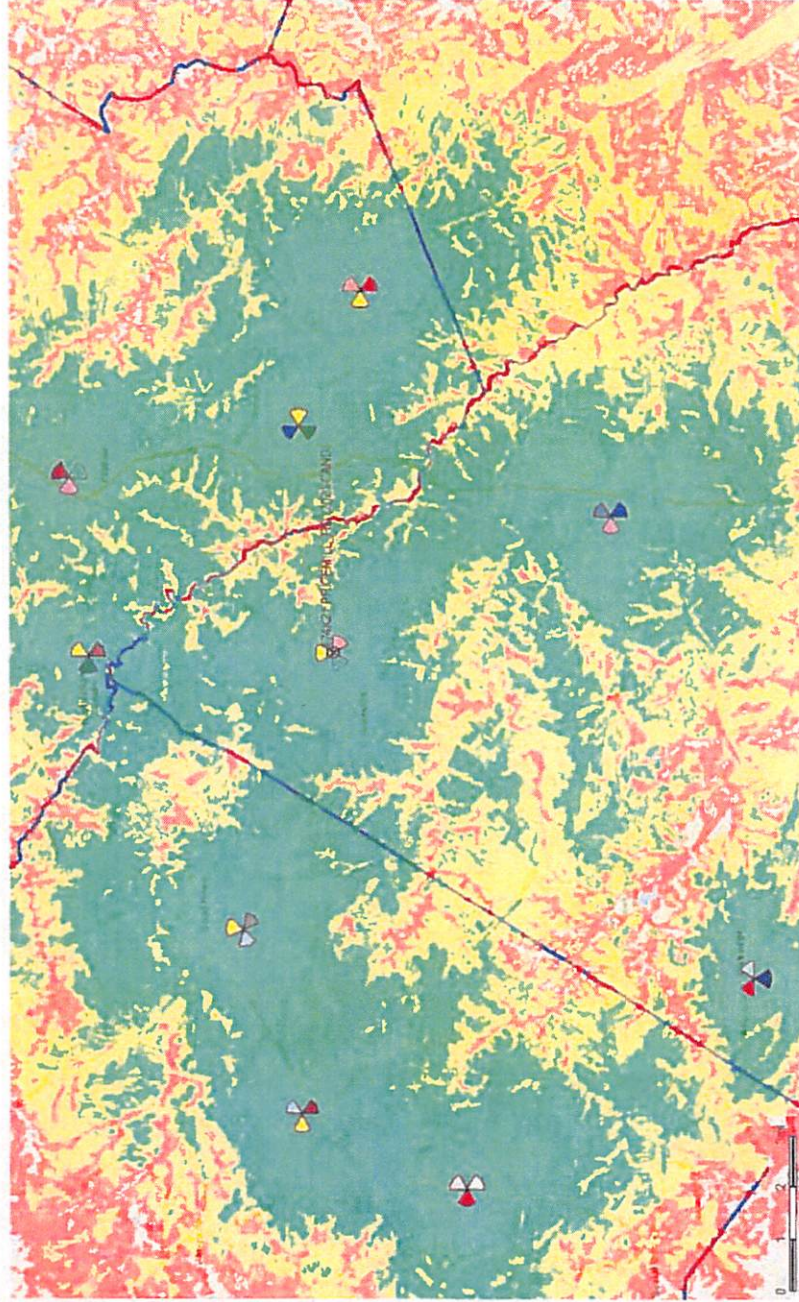


Item5.



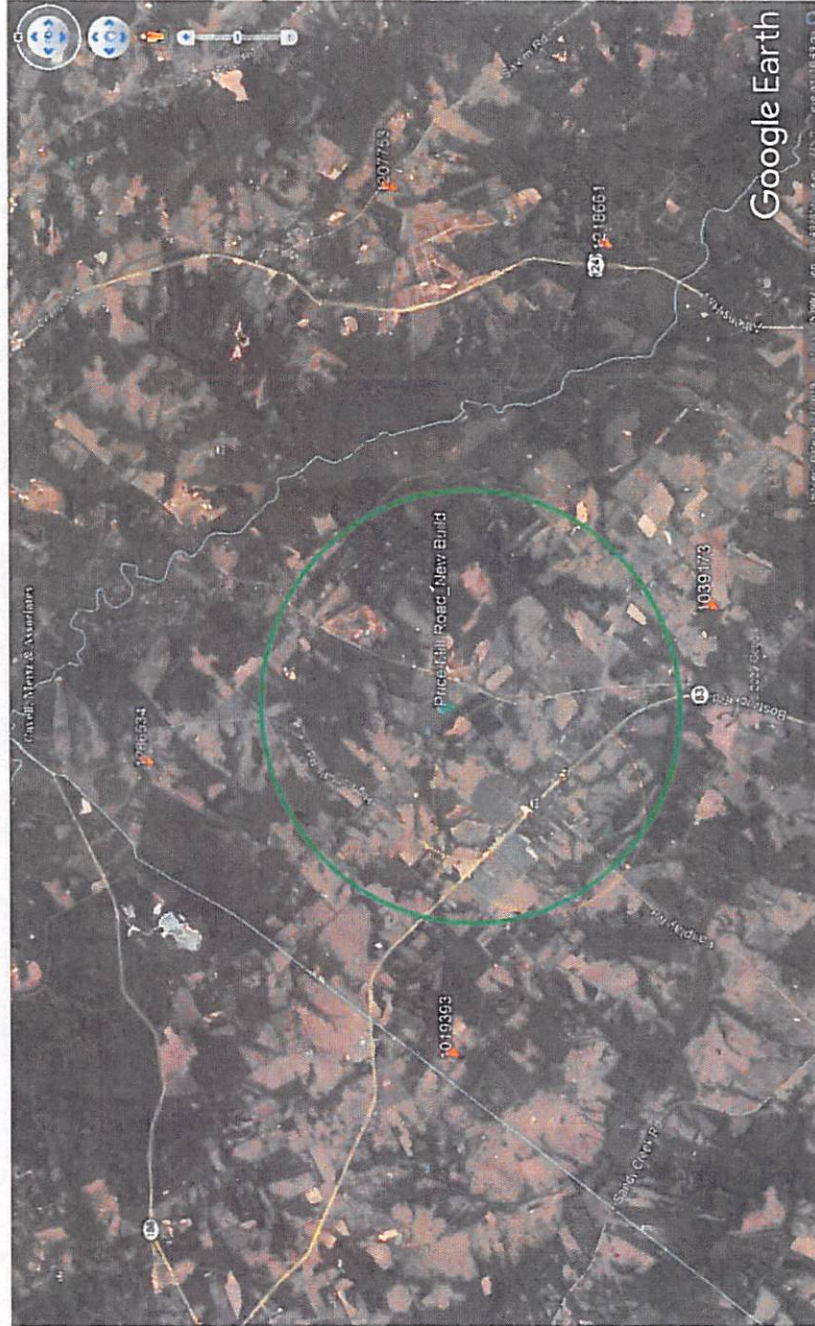
Verizon confidential and proprietary. Unauthorized disclosure, reproduction or other use prohibited.

Coverage with new Site (Price Mill RD)



Verizon confidential and proprietary. Unauthorized disclosure, reproduction or other use prohibited.

Colocation Opportunities within a two mile range



Verizon confidential and proprietary. Unauthorized disclosure, reproduction or other use prohibited.

Verizon Legal Disclaimer

These maps are not a guarantee of coverage and may contain areas with no service. These maps reflect a depiction of predicted and approximate wireless coverage of the network and is intended to provide a relative comparison of coverage. The depictions of coverage do not guarantee service availability as there are many factors that can influence coverage and service availability. These factors vary from location to location and change over time. The coverage areas may include locations with limited or no coverage. Even within a coverage area shown, there are many factors, including but not limited to, usage volumes, service outages, customer's equipment, terrain, proximity to buildings, foliage, and weather that may impact service ("Factors"). The representations of "fair", "good" and "best" are qualitative representations of relative wireless outdoor signal strength at the network facilities level. Generally, calls can be made and received within all three categories, however, these Factors will likely have greater impact in areas of "fair" coverage. You can only make and receive calls when digital service is available. [When digital service is not available your device will not operate or be able to make 911 calls.]



Verizon confidential and proprietary. Unauthorized disclosure, reproduction or other use prohibited.

* Federal Airways & Airspace
*
* Summary Report: New Construction
*
* Antenna Structure
*

Airspace User: Not Identified

File: PRICEMILL_RD

Location: Bishop, GA

Latitude: 33°-44'-51.37" Longitude: 83°-29'-58.47"

SITE ELEVATION AMSL.....703 ft.
STRUCTURE HEIGHT.....198 ft.
OVERALL HEIGHT AMSL.....901 ft.

NOTICE CRITERIA

- FAR 77.9(a): NNR (DNE 200 ft AGL)
- FAR 77.9(b): NNR (DNE Notice Slope)
- FAR 77.9(c): NNR (Not a Traverse Way)
- 52A FAR 77.9: NNR FAR 77.9 IFR Straight-In Notice Criteria for
- D73 FAR 77.9: NNR FAR 77.9 IFR Straight-In Notice Criteria for
- FAR 77.9(d): NNR (Off Airport Construction)

NR = Notice Required

NNR = Notice Not Required

PNR = Possible Notice Required (depends upon actual IFR procedure)

For new construction review Air Navigation Facilities at bottom of this report.

Notice to the FAA is not required at the analyzed location and height for slope, height or Straight-In procedures. Please review the 'Air Navigation' section for notice requirements for offset IFR procedures and EMI.

OBSTRUCTION STANDARDS

FAR 77.17(a) (1): DNE 499 ft AGL



ENVIRONMENTAL • ARCHITECTURE • ENGINEERING

1395 S Marietta Pkwy, Building 400, Suite 209, Marietta, GA 30067 – 678 653 8673 - www.trileaf.com

April 22, 2020

Ms. Kim Nguyen
Verizon Wireless
10300 Old AL Connector Road
Alpharetta, Georgia 30022

RE: Phase I Environmental Site Assessment – Summary Letter
Site #/Name: 616125263 / PRICEMILL_RD
Site Address: Price Mill Road, Bishop, Georgia 30621

Dear Ms. Nguyen,

Trileaf is pleased to provide the **Phase I Environmental Site Assessment** report for the **PRICEMILL RD** project at the above-referenced location. As noted in the report, Trileaf did not identify any evidence of recognized environmental conditions (RECs) in connection with the Property.

In addition, Trileaf reviewed the site for environmental conditions that are beyond the scope of ASTM E1527-13, as identified in the Verizon Wireless Statement of Work (SOW) #2, and has determined the following:

- During site reconnaissance, a stream was identified approximately 50 feet south of the lease area. The proposed installation will not encroach on State and County buffer requirements for streams; however, it is worth noting that a land disturbance permit will be required.
- Lead-based paint and asbestos-containing materials are not anticipated to be disturbed as part of the proposed Verizon installation.
- No wastewater discharges, drains, ditches, or wells were identified within 300 feet of the Property.

Thank you for your consideration. Trileaf appreciates the opportunity to be of service to Verizon Wireless. If you have any questions or comments, please contact me at (678)-653-8673 or c.homerharrell@trileaf.com.

Sincerely,

Christina M. Harrell

Christina M. Harrell
Group Manager
Trileaf Corporation

CERTIFICATE OF COMPLIANCE

*** AM BROADCAST PATTERN PROTECTION ***

Site: PRICEMILL_RD
Location: 33.747603, -83.499575

Date of Issue: 3/17/2020
Overall Height: 195'

Verizon has satisfied the requirements of the Rules and Regulations stated by the Federal Communications Commission regarding notification to AM broadcast stations located within a prescribed distance, or tower height relative to any AM station frequency, for new construction of or significant modification to wireless antenna structures. The data provided was compared to current FCC license data for compliance with requirements of 47 CFR 1.30002 (a) & (b) (Tower construction or modification near AM stations) and 1.30003 (Installations on an AM antenna).

As of this date, we have determined that the proposed construction or modification does not meet the criteria defined in 47 CFR 1.30002 (a), (b) or 1.30003; no further action is required by Verizon at this time. This certification is contingent on the continued validity of this data at the time of construction. *

(*) Should construction not commence within 90 days, or any of the submitted data change, re-submission is recommended. This will allow Waterford to re-run this analysis and provide current, correct certification. Data pertaining to any previous evaluations were not submitted.

Attested by:



Steve Baier-Anderson, P.E.
V.P. Engineering



WATERFORD

Waterford Consultants, LLC - 7430 New Technology Way Suite 150, Frederick, MD 21703 - (703) 596-1022 - waterfordconsultants.com

TITLE EXCEPTIONS

THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY HERBERT LAW FIRM, DATED JANUARY 22, 2024, BEING FILE NO. 19230, FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF CERTAIN TITLE EXCEPTIONS.

3. ANY STATE OF FACTS AS WOULD BE REVEALED BY AN ACCURATE SURVEY OR PHYSICAL EXAMINATION OF THE PROPERTY INCLUDING THE ACTUAL LOCATION OF THE PROPERTY LINES ON CORNERS OR ON THE GROUND, THE EXACT AMOUNT OF ACRES IN SUBJECT PROPERTY, AND ANY EASEMENTS, ENCROACHMENTS, ENCUMBRANCES, PARTY WALLS OR OTHER FACTS WHICH A PHYSICAL INSPECTION OR CORRECT SURVEY OF THE SUBJECT PROPERTY WOULD REVEAL, INCLUDING BUT NOT LIMITED TO ALL MATTERS DISCLOSED ON THIS CERTAIN PLAN OF SURVEY PREPARED BY JAMES H. BOONE, C.E., DATED NOVEMBER 27, 1907, OF RECORD IN DEED BOOK 146, AT PAGE 68, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT, INCLUDING, WITHOUT LIMITATION, ANY ENCROACHMENTS IN SAID PLAN, WITH ENCUMBRANCES IN THE EXACT AMOUNT OF ACRES IN THE SUBJECT PROPERTY AND BLIND ENCROACHMENTS IN THE PASTES AND RECORDS.

THERE ARE NO FILES ON THIS PLAN WHICH ARE APPLICABLE TO THE LEASE AREA OR THE INGRESS-EGRESS, FIBER & UTILITY EASEMENTS.

4. RIGHT OF WAY DEED BY G. L. BLANK, EUGENE T. BLANK AND J. MARVIN BLANK TO MORNING COUNTY, GEORGIA, DATED AUGUST 12, 1994, OF RECORD IN DEED BOOK 66, AT PAGE 581, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT.

(THIS ITEM IS NOT APPLICABLE TO THE LEASE AREA OR THE INGRESS-EGRESS, FIBER & UTILITY EASEMENTS.)

5. EASEMENT FOR RIGHT OF WAY BY MARVIN BLANK ALMA J. MARVIN BLANK AND E. T. BLANK ALMA EUGENE T. BLANK TO GEORGIA TRANSMISSION CORPORATION DATED APRIL 6, 2014, OF RECORD IN DEED BOOK 477, AT PAGES 054-057, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT.

(THIS ITEM IS NOT APPLICABLE TO THE LEASE AREA OR THE INGRESS-EGRESS, FIBER & UTILITY EASEMENT.)

6. APPLICATION AND QUESTIONNAIRE FOR CURRENT USE ASSESSMENT OF BORN FINE AGRICULTURE PROPERTY, FILED BY THE MORNING COUNTY TAX ASSessor ON APRIL 23, 2024, OF RECORD IN DEED BOOK 502, AT PAGES 1048-1050, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT SERVICE DECEMBER 31, 2023.

(THIS ITEM IS APPLICABLE TO THE PARENT PARCEL.)

7. DEED TO ACQUIRE DEED BY J. MARVIN BLANK AND EUGENE T. BLANK TO ACQUATH FARM CREDIT, A/C, DATED APRIL 1, 2004, OF RECORD IN DEED BOOK 447, AT PAGES 054-61, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT.

(THIS ITEM IS APPLICABLE TO THE PARENT PARCEL.)

8. DEED TO ACQUIRE DEED BY J. MARVIN BLANK AND EUGENE T. BLANK TO ACQUATH FARM CREDIT, A/C, DATED SEPTEMBER 7, 2012, OF RECORD IN DEED BOOK 504, AT PAGES 312-318 CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT.

(THIS ITEM IS APPLICABLE TO THE PARENT PARCEL.)

9. DEED TO ACQUIRE DEED BY J. MARVIN BLANK AND EUGENE T. BLANK TO ACQUATH FARM CREDIT, A/C, DATED APRIL 24, 2017, OF RECORD IN DEED BOOK 593, AT PAGES 280-285 CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT.

(THIS ITEM IS APPLICABLE TO THE PARENT PARCEL.)

10. AGREEMENT FOR CROSS COLLATERALIZATION AND CROSS DEFAULT BY AND BETWEEN J. MARVIN BLANK AND MARVIN BLANK ALMA GEORGINA BLANK AND ACQUATH FARM CREDIT, A/C, DATED APRIL 24, 2017, OF RECORD IN DEED BOOK 593, AT PAGES 287-291, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT.

(THIS ITEM IS APPLICABLE TO THE PARENT PARCEL.)

11. UNIFORM COMMERCIAL CODE FINANCING STATEMENT SHOWING J. MARVIN BLANK AND MARVIN BLANK AND MARVIN BLANK AS THE DEBTORS AND ACQUATH FARM CREDIT, A/C, AS THE SECURED PARTY, FILED FOR RECORDING ON MAY 1, 2017, OF RECORD IN DEED BOOK 593, AT PAGES 289-291, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT.

(THIS ITEM IS APPLICABLE TO THE PARENT PARCEL.)

12. UNIFORM COMMERCIAL CODE FINANCING STATEMENT NO. 104-28474022 SA, SHOWING J. MARVIN BLANK AND MARVIN BLANK AND MARVIN BLANK AS THE DEBTORS AND ACQUATH FARM CREDIT, A/C, AS THE SECURED PARTY, FILED FOR RECORDING ON MAY 1, 2017, OF RECORD IN DEED BOOK 593, AT PAGES 289-291, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT AND IN THE GEORGIA SUPERIOR COURT CLERK'S OFFICE UNDER THE JURISDICTION.

(THIS ITEM IS APPLICABLE TO THE PARENT PARCEL.)

GENERAL NOTES

THIS EXHIBIT SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS EXHIBIT SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF MORNING WIRELESS AND EXCLUSIVELY FOR THE TRANSFER OF THE PROPOSED LEASED PREMISES AND THE RIGHTS OF EASEMENTS SHOWN HEREON AND SHALL NOT BE USED AS AN EXHIBIT OR EVIDENCE IN THE TITLE TRANSFER OF THE PARENT PARCEL, NOR ANY PORTION OR PORTIONS THEREOF. BOUNDARY INFORMATION SHOWN HEREON WAS COMPILED FROM THE SURVEY AND DEED DESCRIPTIONS ONLY. NO INDEPENDENT SURVEY OF THE PARENT PARCEL WAS PERFORMED.

THIS DRAWING DOES NOT REPRESENT A BOUNDARY SURVEY.

THE FIELD DATA UPON WHICH THIS EXHIBIT SURVEY IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 30,000 FEET AND AN ANGULAR ERROR OF 5.07 PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TPS 1200 ROBOTIC & GEORGINA ZENTH 35. DATE OF LAST FIELD WET: 04/21/24

THE 1' CONTIGUOUS AND SPOT ELEVATIONS SHOWN ON THIS EXHIBIT SURVEY ARE ADJUSTED TO NAVD 83 DATUM COMPUTED USING DEED 2/81/2001 AND HAVE A VERTICAL ACCURACY OF ± 0.5'. CONTIGUOUS OUTSIDE THE IMMEDIATE SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS EXHIBIT SURVEY ARE BASED ON GRID NORTH AND US GEORGIA WEST.

A PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA (ZONE "X" - NO BASE FLOOD ELEVATIONS DETERMINED AS PER F.A.B.L. COMMUNITY PANEL NO. 1321 COGESA & 1321 COGESA DATED 2/15/2001).

NO WETLAND AREAS HAVE BEEN IDENTIFIED BY THIS EXHIBIT SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT ANY UNDERGROUND UTILITIES SHOWN CORRESPOND TO THE ACTUAL UTILITIES IN THE AREA, OTHER THAN THOSE SHOWN OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT ANY UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

CERTIFICATE OF AUTHORIZATION L190343

PARENT PARCEL

OWNER: J. MARVIN BLANK AND GEORGINA BLANK

SIZE ADDRESS: PRICE MILL RD, BUCKING, GA 30211

PARCEL ID: 007 026

AREA: 149.8 ACRES PER THE ASSESSOR

ZONED: AS AGRICULTURAL RESIDENTIAL

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS

REFERENCE: DEED BOOK 84 PAGE 925 DEED BOOK 590 PAGE 276

INGRESS-EGRESS, FIBER & UTILITY EASEMENT
(SEE SHEET 2 FOR DETAIL)

LEASE AREA
(SEE SHEET 2 FOR DETAIL)

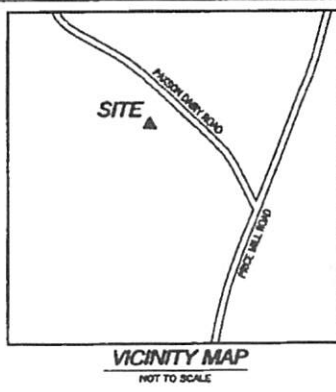
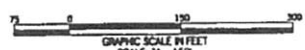
APPROXIMATE LIMITS OF FLOOD ZONE "X" AS SCALED FROM F.A.B.L. COMMUNITY PANELS 1321 COGESA & 1321 COGESA DATED 2/15/2001

N/F
KALYNE STOLTZ, TRUSTEE OF THE JOHN CHAMBERS BOSWICK, IV IRREVOCABLE TRUST AGREEMENT DATED OCTOBER 3, 2012
PARCEL# 007 011 B
DB 506 PG 456
ZONED AR

GPS NOTES

THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL.

POSITIONAL ACCURACY: 0.60 FEET HORIZONTAL, 0.80 FEET VERTICAL
TYPE OF EQUIPMENT: GEORGINA ZENTH 35 PRO BASE AND ROVER, CLK. PRECISION
TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC NETWORKS
DATE OF SURVEY: 04/15/2024, 04/21/2024
DETAILS / SPEC: 100, 30000, 1000000, 20000
PUBLISHED / FIELD CONTROL USE: N/A
COORD. MODEL: WGS 83
COMBINED GRID FACTORS: 0.99997204 CENTERED ON THE GPS BASE POINT AS SHOWN HEREON
CONVERGENCE ANGLE: 0°22'15.54"



N/F
GEORGINA MARK BLANK & J MARVIN BLANK
PARCEL# 007 026
DB 84 PG 925
DB 590 PG 276
ZONED AR

- LEGEND**
- PCB POINT OF BEGINNING
 - PCB POINT OF COMMENCEMENT
 - LP LINEARY PLAT
 - RD ROAD
 - SB SHOWN SURFACE
 - TC TYPICAL CROSS SECTION
 - SM SURFACE
 - EP EDGE OF PAVEMENT
 - OU OVERHEAD UTILITY
 - CU CURB AND GUTTER
 - AW ANCHOR
 - TR TRAILER
 - RF ROAD OR FURNACE



NO.	DATE	REVISION
1	01/28/2024	REVISED PLAN AREA - INB

EXHIBIT SURVEY PREPARED BY:
POINT TO POINT LAND SURVEYORS
100 Governor's Trace, Suite 103
Peachtree City, GA 30269
(p) 678.565.4440
(f) 678.565.4497
(w) pointtopointsurvey.com



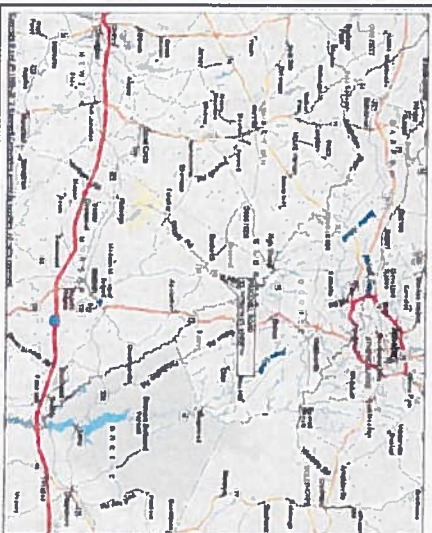
EXHIBIT SURVEY PREPARED FOR:
verizon
10300 OLD ALABAMA ROAD CONNECTOR
ALPHARETTA, GA 30222

PRICE MILL RD
281ST CMD
MORNING COUNTY
GEORGIA

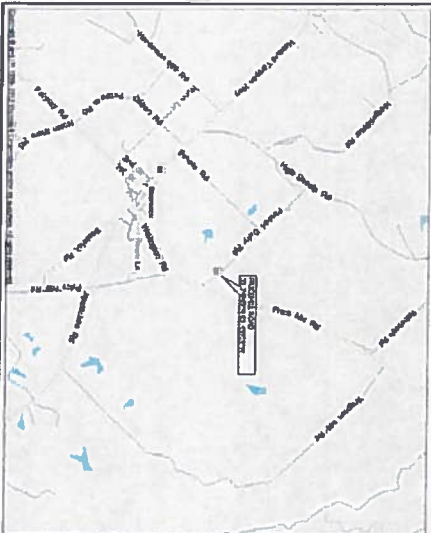
DRAWN BY: INB
CHECKED BY: JAL
APPROVED: DMB
DATE: JANUARY 28, 2019
P2P JOB #: 183846A

SHEET:
1
OF 2

LOCATION MAP



VICINITY MAP



BUILDING CODES
ALL CONSTRUCTION SPECIFIED ON DOCUMENTS SUBMITTED FOR BUILDING PERMIT SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING:

- MANDATORY CODES AS ADOPTED BY DCA:
 - INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
 - INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
 - INTERNATIONAL FIRE CODE, 2018 EDITION, NO GEORGIA AMENDMENTS
 - INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
 - INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
 - INTERNATIONAL RUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
 - NFPA NATIONAL ELECTRICAL CODE, 2017 EDITION (NO GEORGIA AMENDMENTS)
 - INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)
 - INTERNATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- ADDITIONAL APPLICABLE CODES:
 - STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES - TIA/EIA-222-G

SITE NAME:

PRICEMILL ROAD

LOCATION CODE:

500310

PROJECT TYPE:

RAWLAND NSB

PROPOSED 195' MONOPOLE TOWER

PREPARED FOR:

PREPARED BY:



1000 HOLCOMB WOODS PKWY.,
SUITE 210
ROSWELL, GA 30076
678-280-2325



DEPARTMENT	NAME / SIGNATURE	DATE
LAND OWNER / TOWER OWNER		
SITE ACQUISITION AGENT		
ZONING / PERMITTING AGENT		
A/E MANAGER		
CONSTRUCTION MANAGER		
RF ENGINEER		

PROJECT INFORMATION

Item 5.
 SITE ADDRESS: NEAR PRICEMILL ROAD, BISHOP, GA 30621
 LATITUDE: 33° 44' 51.37" (NAD 83)
 LONGITUDE: -83° 29' 58.47" (NAD 83)
 ZONING: 702.Z AMSL (NAVD 88)
 JURISDICTION: MORGAN COUNTY
 ZONING CLASSIFICATION: AR-AGRICULTURAL RESIDENTIAL
 CBL ID: 007 026
 PROPERTY OWNER: MARK GEORGE RUARK & J MARVIN RUARK, PO BOX 182, BOSTWICK, GA 30623, MARK G. RUARK: 706-342-5514
 APPLICANT: VERIZON WIRELESS, 10300 OLD ALABAMA ROAD CONN., ALPHARETTA, GA 30022
 ENGINEER: P. MARSHALL & ASSOCIATES, 1000 HOLCOMB WOODS PKWY., STE. 210, ROSWELL, GA 30076, PATRICK MARSHALL, PE, 678-280-2325
 POWER: WALTON EMC, 770-267-2505
 POWER CONTACT #: FIBER COMPANY WILL BE AWARDED BY VZW, CONSULT CM

DRAWING INDEX

- T-1 TITLE SHEET & PROJECT INFORMATION
- C-1 GENERAL NOTES
- C-1A SURVEY
- C-2 SITE SIGNAGE
- C-2A OVERALL BOUNDARY PLAN
- C-2B OVERALL SITE PLAN
- C-3 AERIAL SITE PLAN
- C-3 ENLARGED SITE PLAN
- C-4 TOWER ELEVATION & ANTENNA ORIENTATION
- C-5 GRADING & EROSION CONTROL PLAN
- C-6 GRADING & EROSION CONTROL NOTES
- C-7 GRADING & EROSION CONTROL DETAILS
- C-8 EQUIPMENT ELEVATION
- C-9 EQUIPMENT LAYOUT
- C-10 ICE BRIDGE DETAILS
- C-11 FENCE DETAILS
- C-12 EQUIPMENT PAD FOUNDATION DETAILS
- E-1 GENERAL ELECTRICAL & GROUNDING NOTES
- E-2 ELECTRICAL & GROUNDING SITE PLAN
- E-3 DETAILED GROUNDING SITE PLAN
- E-4 ELECTRICAL RISER & ONE-LINE DIAGRAM
- E-5 GROUNDING DETAILS
- E-6 UTILITY H-FRAME DETAILS

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 811 or 1-800-282-7411
<http://www.georgia811.com/>



PRICEMILL ROAD

NEAR PRICEMILL ROAD
BISHOP, GA 30621

LOCATION CODE:
500319

NO	DATE	DESCRIPTION
0	2/17/2020	PRELIM ISSUE
1	2/24/2020	CONSTRUCTION & PERMIT ISSUE
2	7/29/2020	REVISED TOWER CLASS

DESIGN	CTW	2014
DRAWN	CTW	
CHECKED	PWM	VW18-056

TITLE SHEET & PROJECT INFORMATION

T-1

TITLE EXCEPTIONS

- THIS SURVEY WAS COMPLETED WITH THE AID OF TITLE WORK PREPARED BY HERBERT LAW FIRM, DATED JANUARY 22, 2020, BEING FILE NO. 19520 FOR THE PARENT PARCEL, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.
3. ANY STATE OF FACTS AS WOULD BE REQUIRED BY AN ACCURATE SURVEY OR SPATIAL EXAMINATION OF THE PROPERTY INCLUDING THE ACTUAL LOCATION OF THE PROPERTY LINES OR CORNERS ON THE GROUND, THE EXACT AMOUNT OF ACREAGE IN SUBJECT PROPERTY, AND ANY EASEMENTS, ENCUMBRANCES, INTERESTS, PARTY WALLS OR OTHER FACTS WHICH A PHYSICAL INSPECTION OR CORRECT SURVEY OF THE SUBJECT PROPERTY WOULD REVEAL, INCLUDING BUT NOT LIMITED TO ALL MATTERS DISCLOSED ON THAT CERTAIN PLAT OF SURVEY PREPARED BY HERBERT LAW FIRM, DATED JANUARY 22, 2020, OR RECORDED IN DEED BOOK 171, AT PAGES 69, 70 AND 71, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT, MORNING COUNTY, GEORGIA. THIS MEAN IS NOT APPLICABLE TO THE LEASE AREA ON THE INGRESS/EGRESS, FIBER & UTILITY EASEMENT DISCOVERED IN THE METES AND BOUNDS OF THE SUBJECT PROPERTY AND SIGHT DISCREPANCIES IN THE METES AND BOUNDS.
 4. RIGHT-OF-WAY DEED BY G. L. RUMAR, EUGENE T. RUMAR AND J. MARVIN RUMAR TO MORNING COUNTY, GEORGIA DATED AUGUST 12, 1974, OR RECORDED IN DEED BOOK 86, AT PAGE 593, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT. THIS MEAN IS NOT APPLICABLE TO THE LEASE AREA ON THE INGRESS/EGRESS, FIBER & UTILITY EASEMENT.
 5. EASEMENT FOR RIGHT-OF-WAY BY J. MARVIN RUMAR AND EUGENE T. RUMAR TO MORNING COUNTY SUPERIOR COURT, DATED APRIL 6, 2010, OR RECORDED IN DEED BOOK 471, AT PAGES 554-557, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT. THIS MEAN IS NOT APPLICABLE TO THE LEASE AREA ON THE INGRESS/EGRESS, FIBER & UTILITY EASEMENT.
 6. APPLICATION AND QUESTIONNAIRE FOR CURRENT USE ASSESSMENT OF BONA FIDE AGRICULTURAL PROPERTY, FILED BY MORNING COUNTY TAX ASSESSOR ON APRIL 23, 2018, OR RECORDED IN DEED BOOK 606, AT PAGES 1049-1060, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT, MORNING COUNTY, GEORGIA. THIS MEAN IS APPLICABLE TO THE PARENT PARCEL.
 7. DEED TO SECURE DEBT BY J. MARVIN RUMAR AND EUGENE T. RUMAR TO ACCOUNT FARM CREDIT, A/C/A, DATED APRIL 1, 2008, OR RECORDED IN DEED BOOK 447, AT PAGES 89-91, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT. THIS MEAN IS APPLICABLE TO THE PARENT PARCEL.
 8. DEED TO SECURE DEBT BY J. MARVIN RUMAR AND EUGENE T. RUMAR TO ACCOUNT FARM CREDIT, A/C/A, DATED SEPTEMBER 7, 2012, OR RECORDED IN DEED BOOK 508, AT PAGES 512-518 CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT. THIS MEAN IS APPLICABLE TO THE PARENT PARCEL.
 9. DEED TO SECURE DEBT BY J. MARVIN RUMAR AND EUGENE T. RUMAR TO ACCOUNT FARM CREDIT, A/C/A, DATED APRIL 24, 2017, OR RECORDED IN DEED BOOK 590, AT PAGES 280-288 CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT. THIS MEAN IS APPLICABLE TO THE PARENT PARCEL.
 10. AGREEMENT FOR CROSS COLLATERALIZATION AND CROSS DEFAULT BY AND BETWEEN J. MARVIN RUMAR AND MARVIN RUMAR AKA GEORGE MARK RUMAR AND EUGENE T. RUMAR TO ACCOUNT FARM CREDIT, A/C/A, AS THE SECURED PARTY, FILED FOR RECORDING ON MAY 3, 2017, OR RECORDED IN DEED BOOK 590, AT PAGES 287-288, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT. THIS MEAN IS APPLICABLE TO THE PARENT PARCEL.
 11. UNIFORM COMMERCIAL CODE FINANCING STATEMENT SHOWING J. MARVIN RUMAR AND MARVIN RUMAR AS DEBTORS AND ACCOUNT FARM CREDIT, A/C/A AS THE SECURED PARTY, FILED FOR RECORDING ON MAY 3, 2017, OR RECORDED IN DEED BOOK 590, AT PAGES 289-293, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT. THIS MEAN IS APPLICABLE TO THE PARENT PARCEL.
 12. UNIFORM COMMERCIAL CODE FINANCING STATEMENT NO. 104-2017-000159, SHOWING J. MARVIN RUMAR AND MARVIN RUMAR AS DEBTORS AND ACCOUNT FARM CREDIT, A/C/A AS THE SECURED PARTY, FILED FOR RECORDING ON MAY 3, 2017, OR RECORDED IN DEED BOOK 590, AT PAGES 294-298, CLERK'S OFFICE, MORNING COUNTY SUPERIOR COURT AND IN THE GEORGIA SUPERIOR COURT CLERK'S COOPERATIVE AUTHORITY WEBSITE. THIS MEAN IS APPLICABLE TO THE PARENT PARCEL.

GENERAL NOTES

THIS EXHIBIT SURVEY IS FOR THE LEASED PREMISES AND EASEMENTS ONLY. THIS EXHIBIT SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF PERSONS WHOSE INTERESTS ARE SHOWN HEREON AND SHALL NOT BE USED AS EVIDENCE IN ANY COURT OF LAW OR FOR ANY OTHER PURPOSE. THIS SURVEY IS NOT TO BE USED AS EVIDENCE IN ANY COURT OF LAW OR FOR ANY OTHER PURPOSE. THIS SURVEY IS NOT TO BE USED AS EVIDENCE IN ANY COURT OF LAW OR FOR ANY OTHER PURPOSE. THIS SURVEY IS NOT TO BE USED AS EVIDENCE IN ANY COURT OF LAW OR FOR ANY OTHER PURPOSE.

THE FIELD DATA UPON WHICH THIS EXHIBIT SURVEY IS BASED HAS A CLOSEST RECORD OF ONE FOOT IN 20,000+ FEET AND AN ANGULAR ERROR OF 5.0 PER ANGLE POINT AND WAS ADJUSTED USING LEAST SQUARES.

EQUIPMENT USED FOR ANGULAR & LINEAR MEASUREMENTS: LEICA TFS 1200 ROBOTTIC & GEOMAX ZENITH 3S, DATE OF LAST FIELD VISIT: 01/21/19

THE 1' CONTROLS AND SPOT ELEVATIONS SHOWN ON THIS EXHIBIT SURVEY ARE ADJUSTED TO NAD 83 DATUM (COMPILED USING GEOID 12B) AND HAVE A VERTICAL ACCURACY OF ± 0.5'. CONTROLS OUTSIDE THE MARGINAL SITE AREA ARE APPROXIMATE.

BEARINGS SHOWN ON THIS EXHIBIT SURVEY WERE BASED ON GRID NORTH (NAD 83) GEORGIA WEST.

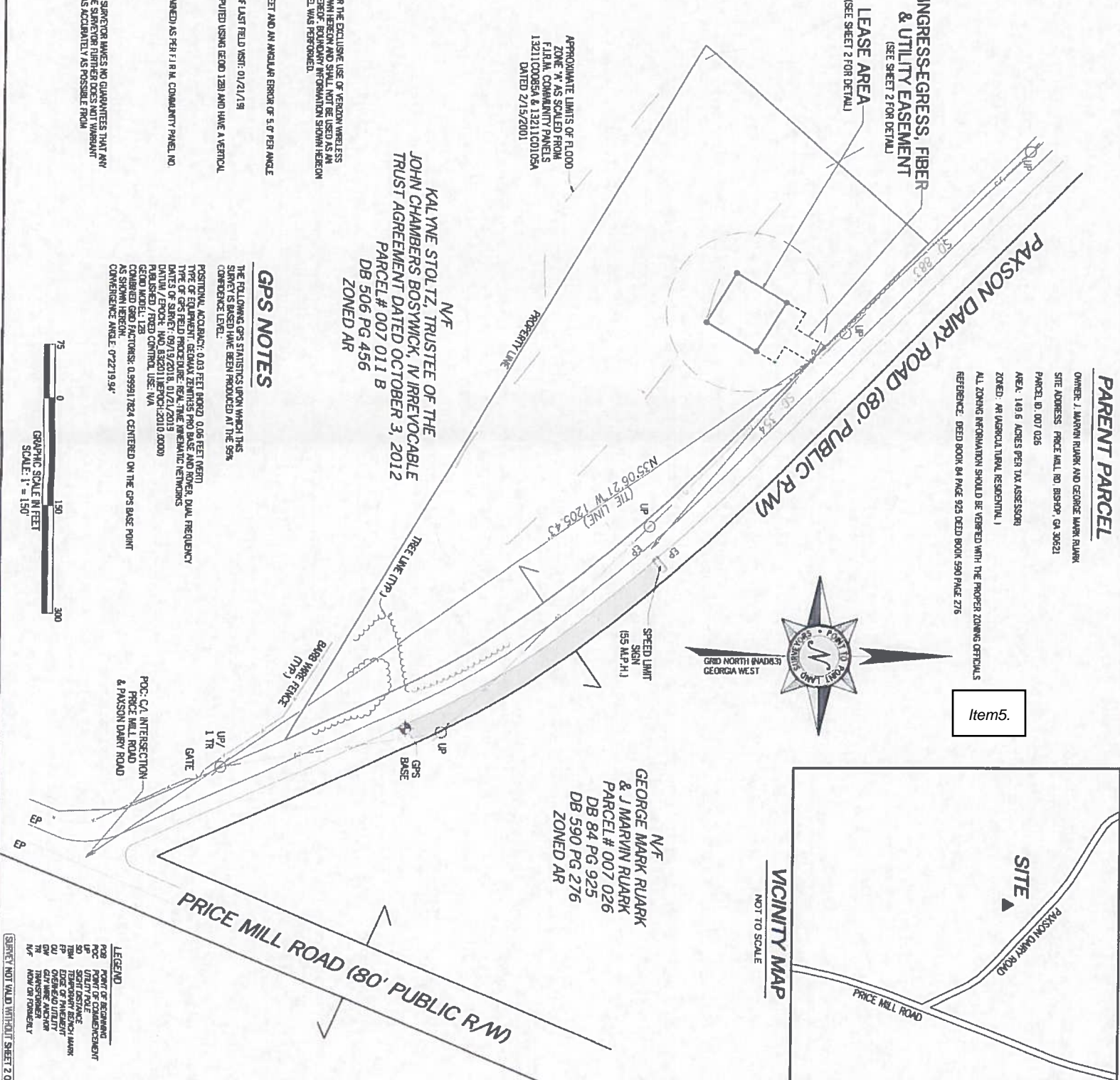
A PORTION OF THE PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA. NO BASE FLOOD ELEVATIONS DETERMINED AS PER F.I.R.M. COMMUNITY PANEL NO. 13211C00065A & 13211C01054 DATED 2/15/2001.

NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS EXHIBIT SURVEY.

ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT ANY UNDERGROUND UTILITIES SHOWN COMPARE ALL SUCH UTILITIES IN THE AREA, EITHER IN DEPTH OR LOCATION INDICATED. ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

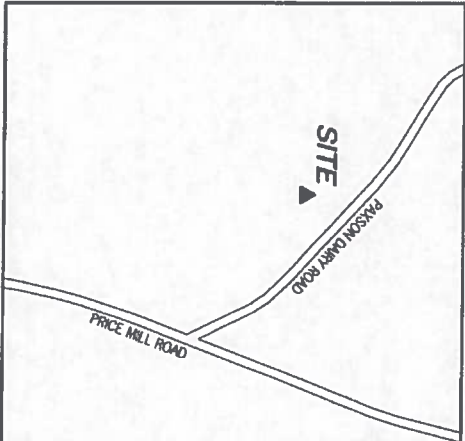
CERTIFICATE OF AUTHORIZATION: L57000943



PARENT PARCEL

OWNER: J. MARVIN RUMAR AND GEORGE MARK RUMAR
 SITE ADDRESS: PRICE MILL RD. DB597P, GA 30261
 PARCEL ID: 007 026
 AREA: 149.6 ACRES PER TAX ASSESSOR
 ZONED: AN AGRICULTURAL RESIDENTIAL
 ALL ZONING INFORMATION SHOULD BE VERIFIED WITH THE PROPER ZONING OFFICIALS
 REFERENCE: DEED BOOK 84 PAGE 925 DEED BOOK 590 PAGE 276

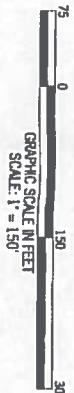
Item5.



GPS NOTES

THE FOLLOWING GPS STATISTICS UPON WHICH THIS SURVEY IS BASED HAVE BEEN PRODUCED AT THE 95% CONFIDENCE LEVEL:

POSITIONAL ACCURACY: 0.43 FEET HORIZONTAL, 0.06 FEET VERTICAL
 TYPE OF EQUIPMENT: GEOMAX ZENITHS PND BASE AND ROVER DUAL FREQUENCY
 DATE OF SURVEY: 09/19/2018, 01/21/2019
 NUMBER OF STATION POINTS: 11
 PUBLISHED / FIELD CONTROL USE: N/A
 GRID MODEL: 12B
 COVERED GRID FACTORS: 0.599917824 CENTERED ON THE GPS BASE POINT AS SHOWN HEREON.
 CONVERGENCE ANGLE: 0°22'19.94"



LEGEND

POC	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
UP	UTILITY POLE
TM	TEMPORARY BENCH MARK
GP	GPS POINT
GP	EDGE OF TRAILER
GP	GPS WIRE ANCHOR
TM	TRANSFORMER
TM	TRAILER

SURVEY NOT VALID WITHOUT SHEET 2 OF 2

NO. DATE REVISION

1	01/29/2020	MORDED LEASE AREA, NAD
---	------------	------------------------

Geographic Surveyor Seal: No. 2966, CHARLES LEBER, INER

Signature: Charles Leber

EXHIBIT SURVEY PREPARED BY:

POINT TO POINT LAND SURVEYORS

100 Governors Trace, Suite 103
 Peachtree City, GA 30269
 (p) 678.565.4440
 (f) 678.565.4497
 (w) pointtopointsurvey.com



EXHIBIT SURVEY PREPARED FOR:

verizon

10300 OLD ALABAMA ROAD CONNECTOR
 ALPHARETTA, GA 30022

PRICEMILL RD

281ST GRID
 MORNING COUNTY
 GEORGIA

CHECKED BY: BHM
 APPROVED BY: JKL
 DATE: JANUARY 28, 2019

P2P JOB #: 183846GA

SHEET: **1**
 OF 2

L:\Desktop\Point To Point\P2P\Curren Job\2018\183846GA\Przmill\181\183846GA.p2p

GENERAL NOTES:

1. THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
2. IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, TIES, FORM WORK, ETC., IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL ORDINANCES, TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
3. THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHOD NEEDED FOR PROPER PERFORMANCE OF THE WORK.
4. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE PROTECTION BEFORE THE COMMENCEMENT OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REGISTRATION SHALL BE MADE TO APPLICABLE JURISDICTIONS AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR AGREES TO REMAIN AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
5. SITE GROUNDING SHALL COMPLY WITH VERIZON WIRELESS GROUNDING STANDARDS, LATEST EDITION, AND COMPLY WITH STRINGENT WIRELESS GROUNDING CHECKLIST, LATEST VERSION, WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN.
6. ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION. IF TEMPORARILY LIGHTING TO MAINTAIN IS REQUIRED BY THE FEDERAL AVIATION ADMINISTRATION (FAA), IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE NECESSARY LIGHTS AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A PROBLEM.
7. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
8. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A PRIOR NOTICE TO THE BUILDING INSPECTION DEPARTMENT TO SCHEDULE THE REQUIRED INSPECTIONS. A MINIMUM OF 24 HOURS OF NOTICE SHALL BE GIVEN AND THE BUILDING INSPECTION DEPARTMENTS HAVE REQUESTED THAT GROUPS OF TWO OR THREE SITES BE SCHEDULED AT ONE TIME IF POSSIBLE.
10. CONSTRUCTION MANAGER WILL CONFIRM FAA APPROVAL OF TOWER LOCATION BY ISSUING TOWER RELEASE FORM. NO TOWER SHALL BE CONSTRUCTED UNTIL THE TOWER RELEASE FORM IS ISSUED TO THE CONTRACTOR.
11. THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE FINAL BID DESIGN AND TOWER STRUCTURAL ANALYSIS. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL.
12. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SLOPE AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES. ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
14. CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE HELD TO A MINIMUM. ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO PROPERTY OUTSIDE THE LEASE PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR.
15. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
16. SEEDING AND MULCHING OF THE SITE SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING AND MAINTAINING AN ADEQUATE COVER OF VEGETATION OVER THE SITE FOR A ONE YEAR PERIOD.
17. PERMITS: OBTAIN AND PAY FOR REQUIRED PERMITS, LICENSES, FEES, INSPECTIONS, ETC.
18. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.
19. THE CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING ON THE WORK CONTAINED IN THIS DESIGN PACKAGE.

EXCAVATION & GRADING NOTES:

1. ALL CUT AND FILL SLOPES SHALL BE 3 : 1 MAXIMUM.
2. ALL EXCAVATIONS ON WHICH CONCRETE IS TO BE PLACED SHALL BE SUBSTANTIALLY HORIZONTAL ON UNDISTURBED AND UNFROZEN SOIL AND BE FREE FROM LOOSE MATERIAL AND EXCESS GROUND WATER DEVELOPING FOR EXCESS GROUND WATER SHALL BE PROVIDED IF REQUIRED.
3. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC MATERIAL. IF SOUND SOIL IS NOT REACHED AT THE DESIGNATED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR IT BE FILLED WITH CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION.
4. ANY EXCAVATION OVER THE REQUIRED DEPTH SHALL BE FILLED WITH EITHER MECHANICALLY COMPACTED GRANULAR MATERIAL OR CONCRETE OF THE SAME QUALITY SPECIFIED FOR THE FOUNDATION. GRANULAR MATERIAL SHALL BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. STONE FILL SHALL NOT BE USED AS COMPACTING CONCRETE THICKNESS.
5. AFTER COMPLETION OF THE FOUNDATION AND OTHER CONSTRUCTION BELOW GRADE, AND BEFORE BACK FILLING, ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS AND SO FORTH.
6. BACK FILL SHALL BE:
 - APPROVED MATERIALS CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND, GRAVEL, OR SOFT SHALE
 - FREE FROM CLUMPS OR STONES OVER 2-1/2" MAXIMUM DIMENSIONS;
 - IN LAYERS AND COMPACTED.
7. SITE FILL MATERIAL AND FOUNDATION BACK FILL SHALL BE PLACED IN LAYERS, MAXIMUM 6" DEEP BEFORE COMPACTATION. EACH LAYER SHALL BE SPINDED IF REQUIRED AND COMPACTED BY HAND OPERATED OR MACHINE TAMPERS TO 95% OF MAXIMUM DENSITY, THE OPTIMUM MOISTURE CONTENT ± 2% AS DETERMINED BY ASTM DESIGNATION D-498 UNLESS OTHERWISE APPROVED. SUCH BACK FILL SHALL NOT BE PLACED BEFORE 3 DAYS AFTER PLACEMENT OF CONCRETE.
8. THE FOUNDATION AREA SHALL BE GRADED TO PROVIDE WATER RUNOFF AND PREVENT WATER FROM STANDING. THE FINAL GRADE SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE FOUNDATION AND SHALL THEN BE COVERED WITH 4" DEEP COMPACTED STONE OR GRAVEL.
9. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL CITY, COUNTY AND STATE CODES AND ORDINANCES TO PREVENT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MUST INCLUDE SUCH MEASURES AS SILT FENCES, SLOPE BALE SEDIMENT BARRIERS AND CHECK DAMS.
10. FILL PREPARATION:
 - REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WEEDS AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE PRIOR TO PLACING FILL. FROM STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1:1 VERTICAL TO 4 HORIZONTAL, SO FILL MATERIAL WILL BOND WITH EXISTING SURFACE. WHEN SUBGRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE TO DEPTH REQUIRED, FULFILL, MOISTURE-CONDITION OR AERATE SOIL AND RECOMPACT TO REQUIRED DENSITY.
11. REPLACE THE EXISTING WEARING SURFACE ON AREAS WHICH HAVE BEEN DAMAGED OR REMOVED DURING CONSTRUCTION OPERATIONS. SURFACE SHALL BE REPLACE TO MATCH EXISTING ADJACENT SURFACING AND SHALL BE OF THE SAME THICKNESS. NEW SURFACE SHALL BE FREE FROM CORROSIONS AND WAVES. EXISTING SURFACING MAY BE EXCAVATED SEPARATELY AND REUSED IF INJURIOUS AMOUNTS OF EARTH, ORGANIC MATERIAL, OR OTHER DELETERIOUS MATERIALS ARE REMOVED PRIOR TO REUSE. FURNISH ALL ADDITIONAL RESURFACING MATERIAL AS REQUIRED. BEFORE SURFACING IS REPLACED, SUBGRADE SHALL BE GRADDED TO CONFORM TO REQUIRED SUBGRADE ELEVATIONS, AND LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED. DEPRESSIONS IN THE SUBGRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. SURFACING SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUBGRADE.
12. PROJECT EXISTING SURFACING AND SUBGRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING OR OTHER SUITABLE MATERIALS DESIGNED TO SPREAD EQUIPMENT LOADS. REPAIR DAMAGE TO EXISTING GRAVEL SURFACING OR SUBGRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTOR'S OPERATIONS AND SHALL BE OF THE SAME THICKNESS.
13. DAMAGE TO EXISTING STRUCTURES AND UTILITIES RESULTING FROM CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED / REPLACED TO OWNERS SATISFACTION AT CONTRACTOR'S EXPENSE.
14. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH PROPERTY OWNER SO AS TO AVOID INTERRUPTIONS TO PROPERTY OWNERS OPERATIONS.
15. ENSURE POSITIVE DRAINAGE DURING AND AFTER COMPLETION OF CONSTRUCTION.
16. RIPRAP SHALL BE CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY, AND FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRAGILE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCE.

Item 5.

LEGEND

- X— FENCE
- [550]— CONTOUR LINE
- PROPERTY LINE / ROW
- - - LEASE AREA
- - - EASEMENT
- DISCONNECT SWITCH
- METER
- ⊗ CIRCUIT BREAKER
- ⊗ CODED NOTE NUMBER
- ⊗ CHEMICAL GROUND ROD
- ⊗ GROUND ROD
- ⊗ GROUND ROD WITH INSPECTION SLEEVE
- ⊗ CADWELD TYPE CONNECTION
- COMPRESSION TYPE CONNECTION
- GROUND WIRE




P. MARSHALL & ASSOCIATES

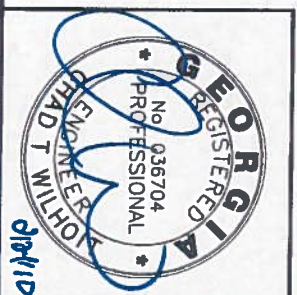
PRICEMILL ROAD

NEAR PRICEMILL ROAD
BISHOP, GA 30621

LOCATION CODE:
500319

NO.	DATE	DESCRIPTION
0	2/17/2020	PRELIM ISSUE
1	2/24/2020	CONSTRUCTION & PERMIT ISSUE

DESIGNED	CTW	3/31
DRAWN	CTW	
CHECKED	PWM	VW 18-056



GENERAL NOTES

C-1



SITE NAME: PRICEMILL ROAD
 SITE NUMBER: TBD
 FCC REGISTRATION NUMBER: TBD
 FOR LEASING INFORMATION: IN CASE OF EMERGENCY:
 NO TRESPASSING
 POSTING OF THIS SIGN REQUIRED BY LAW

OWNER CONTACT SIGN

WHITE/GREEN BACKGROUND, BLACK/RED LETTERING
 MOUNTING LOCATION: GATE
 QUANTITY: 2



AUTHORIZED PERSONNEL SIGN
 WHITE/BLUE BACKGROUND, WHITE/BLACK LETTERING
 MOUNTING LOCATION: GATE & BASE OF TOWER
 QUANTITY: 1
 WHERE ACCESS GATE INSTALLED (QTY: 2)

INFORMATION

Federal Communications Commission
 Tower Registration Number
1 2 3 4 5 6 7
 Posted in accordance with Federal Communications
 Commission rules on antenna tower registration
 (47CFR 17.4(b))

FCC REGISTRATION SIGN

WHITE/GREEN BACKGROUND, WHITE/BLACK LETTERING
 MOUNTING LOCATION: GATE & BASE OF TOWER
 QUANTITY: 2



DANGER NO TRESPASSING SIGN
 WHITE/BLACK BACKGROUND, WHITE/BLACK LETTERING
 MOUNTING LOCATION: GATE & BASE OF TOWER
 QUANTITY: 1
 WHERE ACCESS GATE INSTALLED (QTY: 2)

NOTICE



Radio frequency fields beyond
 this point may exceed the FCC
 general public exposure limit.
 Obey all posted signs and site guidelines
 for working in radio frequency
 environments.

NOTICE RF SIGN (BLUE)

WHITE/BLUE BACKGROUND, WHITE/BLACK LETTERING
 MOUNTING LOCATION: GATE & CENTERLINE OF FENCING
 AROUND SITE (QTY: 4)
 WHERE ACCESS GATE INSTALLED (QTY: 5)



PRICEMILL ROAD

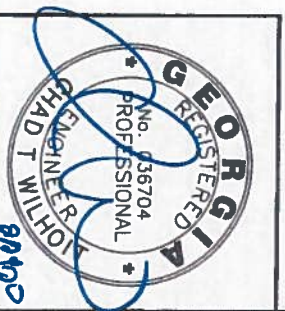
NEAR PRICEMILL ROAD
 BISHOP, GA 30621
 LOCATION CODE
500319

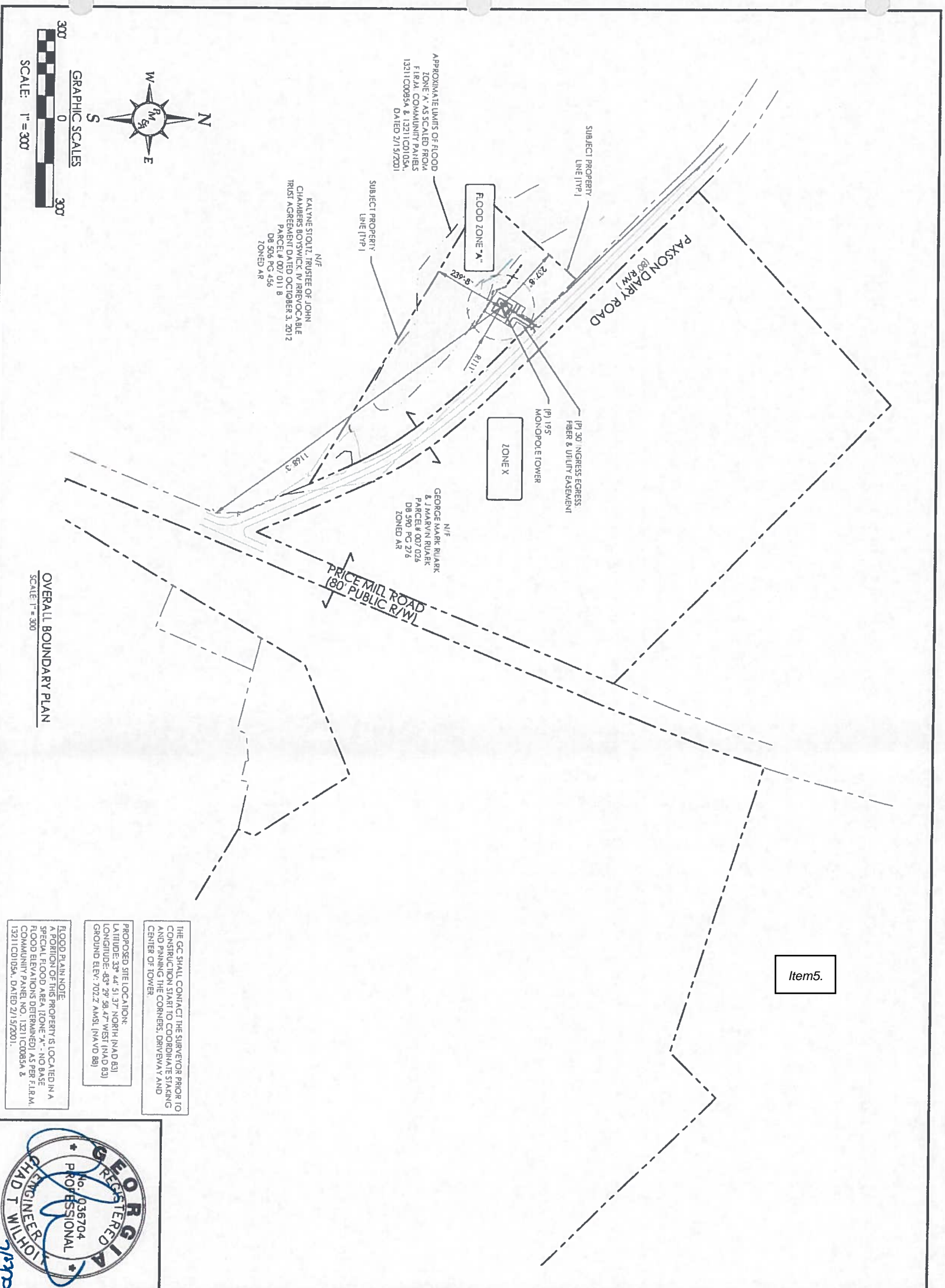
NO	DATE	DESCRIPTION
0	2/17/2020	PRELIM ISSUE
1	2/24/2020	CONSTRUCTION & PERMITS ISSUE

DESIGNED	BY	DATE	CHECKED	DATE
CTW	CTW		PWM	

SITE SIGNAGE

C-1A



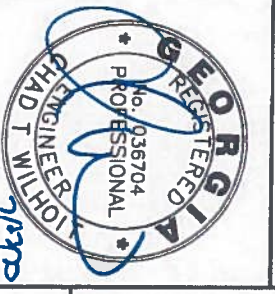


Item5.

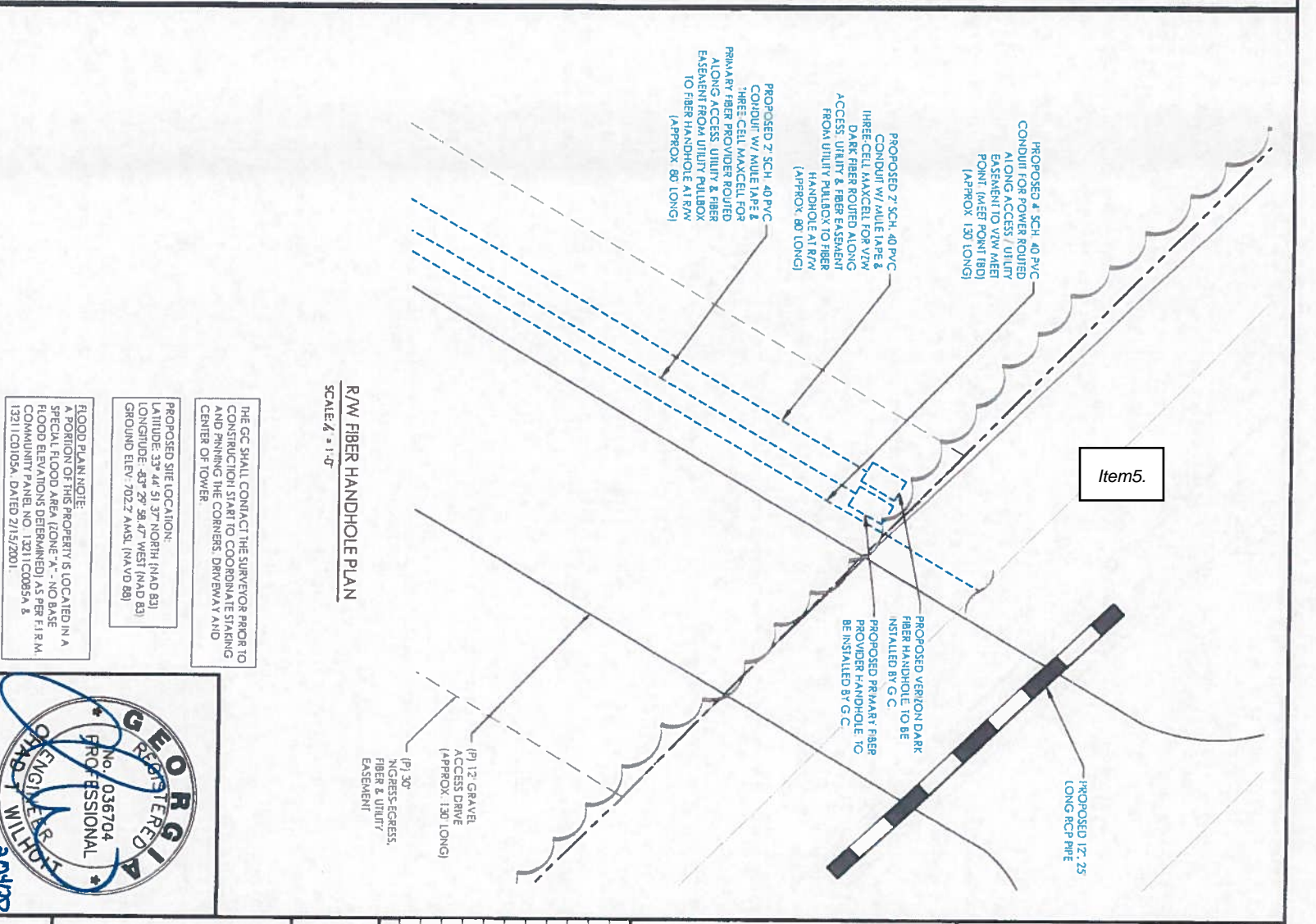
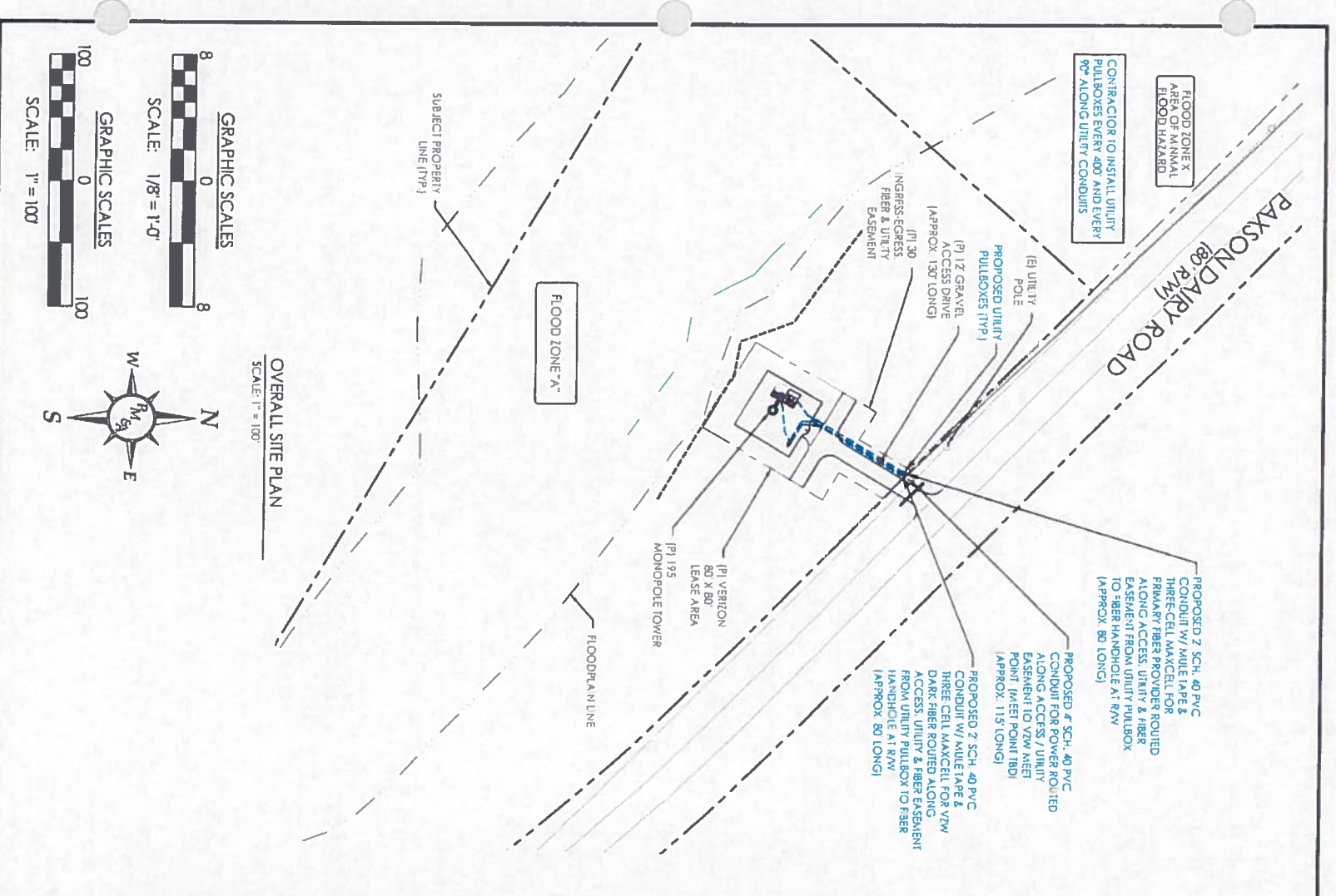
THE GC SHALL CONTACT THE SURVEYOR PRIOR TO CONSTRUCTION START TO COORDINATE STAKING AND MARKING THE CORNERS, DRIVEWAY AND CENTER OF TOWER.

PROPOSED SITE LOCATION:
 LATITUDE: 33° 44' 51.37" NORTH (NAD 83)
 LONGITUDE: -83° 29' 58.47" WEST (NAD 83)
 GROUND ELEV: 7022' MMSL (NAVD 88)

FLOOD PLAIN NOTE:
 A PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA DETERMINED BY THE F.I.R.M. COMMUNITY PANEL NO. 13211C00054 & 13211C01054, DATED 2/15/2001.



PRICEMILL ROAD NEAR PRICEMILL ROAD BISHOP, GA 30621																																		
LOCATION CODE: 500319																																		
<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>2/11/2020</td> <td>PRELIM ISSUE</td> </tr> <tr> <td>1</td> <td>2/24/2020</td> <td>CONSTRUCTION & PERMIT ISSUE</td> </tr> <tr> <td>2</td> <td>7/23/2020</td> <td>REVISED ZONING CLASS</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	0	2/11/2020	PRELIM ISSUE	1	2/24/2020	CONSTRUCTION & PERMIT ISSUE	2	7/23/2020	REVISED ZONING CLASS																						REVISIONS DRAWN: CTW CHECKED: PWM DATE: 2/11/2020 DRAWN: CTW CHECKED: PWM
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1	2/24/2020	CONSTRUCTION & PERMIT ISSUE																																
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OVERALL BOUNDARY PLAN C-2																																		



PRICEMILL ROAD
NEAR PRICEMILL ROAD
BISHOP, GA 30621

LOCATION CODE:
500319

OVERALL SITE PLAN

C-2A

NO.	DATE	DESCRIPTION
0	2/17/2020	PRELIM ISSUE
1	2/24/2020	CONSTRUCTION & PERMIT ISSUE

DESIGNED BY: CTW	DRAWN BY: CTW	CHECKED BY: PWM
PROJECT NO: VM18-056		SCALE: 1" = 100'



PM&A
P. MARSHALL &
ASSOCIATES

PRICEMILL ROAD

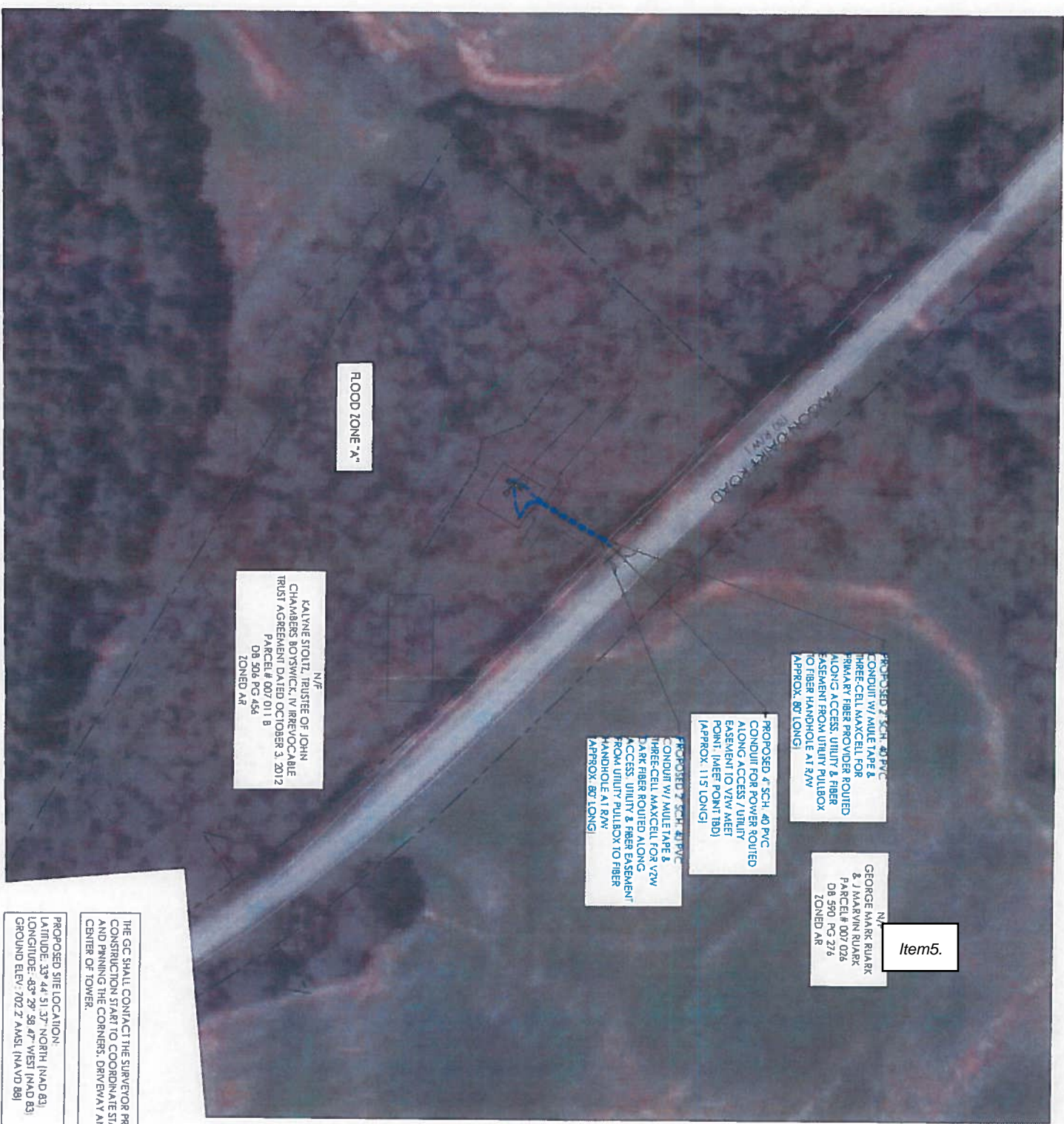
NEAR PRICEMILL ROAD
BISHOP, GA 30621

LOCATION CODE:
500319

NO	DATE	DESCRIPTION
0	2/17/2020	PRELIM ISSUE
1	2/24/2020	CONSTRUCTION & REMAIN ISSUE

DESIGNED BY	CHECKED BY	DATE
CTW	PWM	2/24
CTW	PWM	2/18-056

C-2B



Item 5.

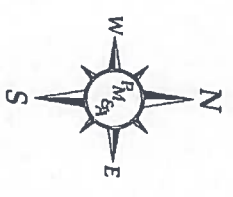
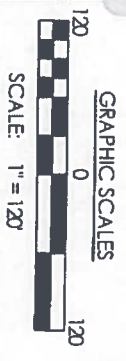
PROPOSED 2" SCH. 40 PVC CONDUIT W/ MULE TAPE & THREE-CELL MANHOLE FOR FIBER PROVIDER ROUTED ALONG ACCESS, UTILITY & FIBER EASEMENT FROM UTILITY PULLBOX TO FIBER HANDHOLE AT R/W APPROX. 80' LONG

PROPOSED 4" SCH. 40 PVC CONDUIT FOR POWER ROUTED ALONG ACCESS / UTILITY EASEMENT TO VIEW METER POINT (METER POINT TBD) (APPROX. 115' LONG)

PROPOSED 2" SCH. 40 PVC CONDUIT W/ MULE TAPE & THREE-CELL MANHOLE FOR VZW DARK FIBER ROUTED ALONG ACCESS, UTILITY & FIBER EASEMENT FROM UTILITY PULLBOX TO FIBER HANDHOLE AT R/W APPROX. 80' LONG

N/P
KATHYNE STOUTZ, TRUSTEE OF JOHN CHAMBERS BOYSWICK, IV IRREVOCABLE TRUST AGREEMENT DATED OCTOBER 3, 2012
PARCEL # 007 011 B
DB 506 PG 456
ZONED AR

FLOOD ZONE "A"

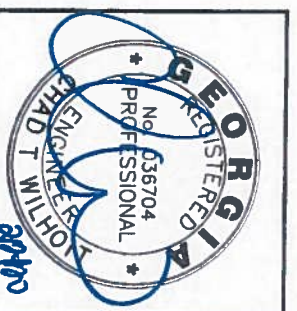
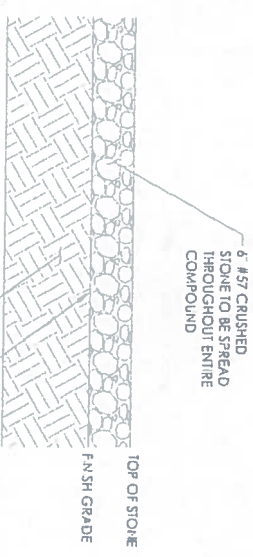
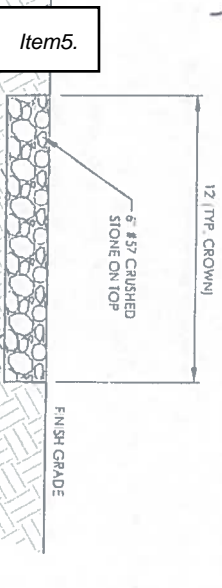
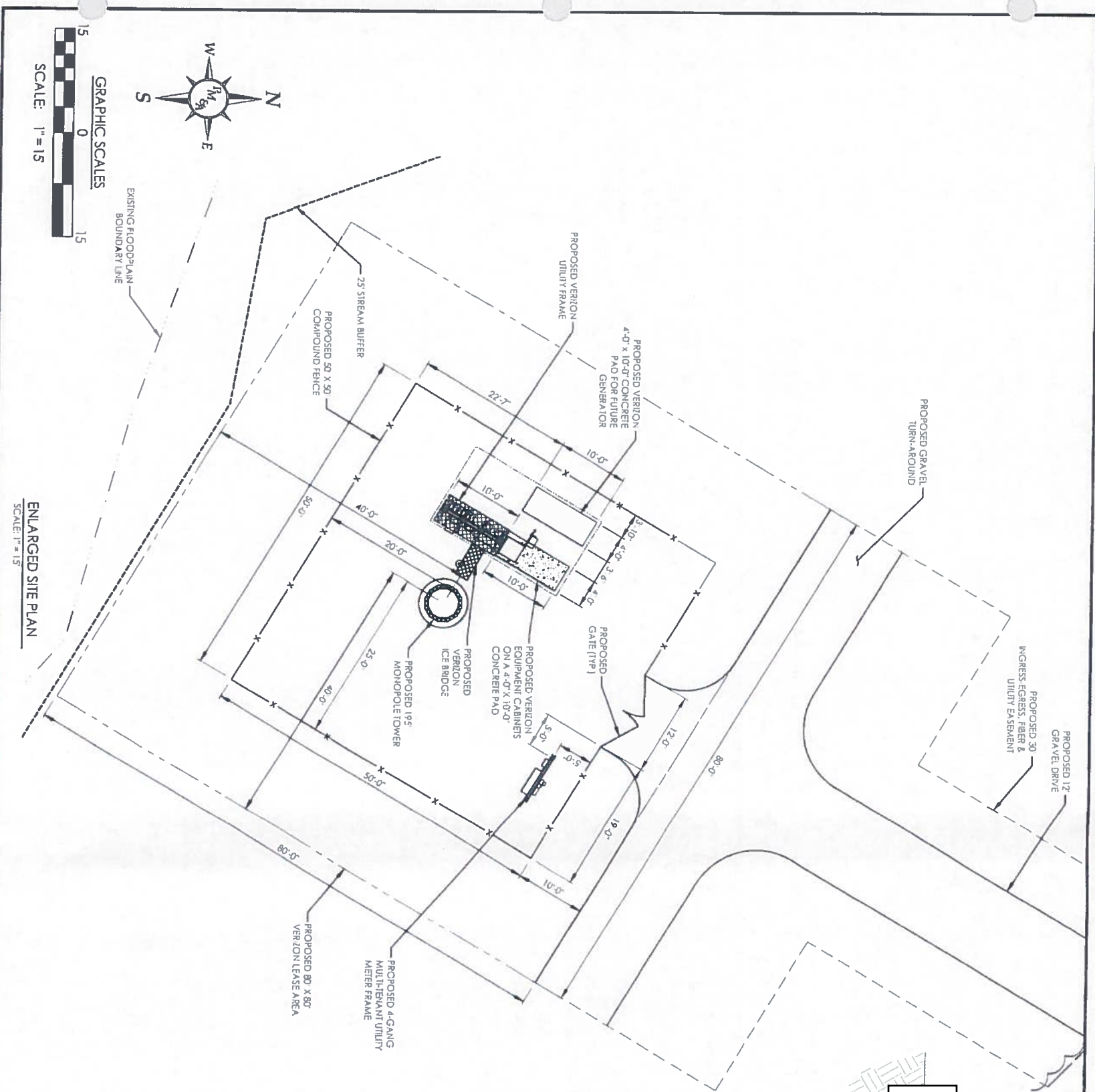


AERIAL SITE PLAN
SCALE 1" = 120'

THE GC SHALL CONTACT THE SURVEYOR PRIOR TO CONSTRUCTION START TO COORDINATE STAKING AND PINNING THE CORNERS, DRIVEWAY AND CENTER OF TOWER.

PROPOSED SITE LOCATION:
LATITUDE: 33° 44' 51.37" NORTH (NAD 83)
LONGITUDE: -83° 29' 59.47" WEST (NAD 83)
GROUND ELEV: 702.2' AMSL (NAD 83)

FLOOD PLAN NOTE:
A PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA (ZONE "A" - NO BASE FLOOD ELEVATIONS DETERMINED) AS PER F.I.R.M. COMMUNITY PANEL NO. 13211C0085A-B (13211C0105A, DATED 2/15/2001).



verizon

PM&A
P. MARSHALL & ASSOCIATES

PRICEMILL ROAD

NEAR PRICEMILL ROAD
BISHOP, GA 30621

LOCATION CODE:
500319

NO	DATE	DESCRIPTION
0	2/17/2020	PRELIM STUDY
1	2/24/2020	CONSTRUCTION & PERMIT STUDY

DESIGNED	CTW	DATE	3/11
DRAWN	CTW		
CHECKED	PVMM		
		PROJECT NO.	VW18-056

ENLARGED SITE PLAN
C-3

Co
CONSTRUCTION EXIT - TO REDUCE OR ELIMINATE THE TRANSPORT OF MUD FROM THE CONSTRUCTION AREA ONTO PUBLIC RIGHT-OF-WAYS, STREETS, ALLEYS, SIDEWALKS, OR PARKING AREAS.

SD1-C
TYPE C SEDIMENT BARRIER - TO PREVENT ANY SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE SITE AND ENTERING NATURAL DRAINAGE WAYS OR STORM DRAINAGE SYSTEMS.

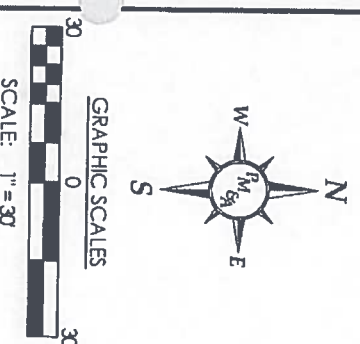
DS2
DISTURBED AREA STABILIZATION (TEMPORARY) - TO ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.

DS3
DISTURBED AREA STABILIZATION (PERMANENT) - TO ESTABLISH A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOOD, OR LEGUMES ON DISTURBED AREAS.

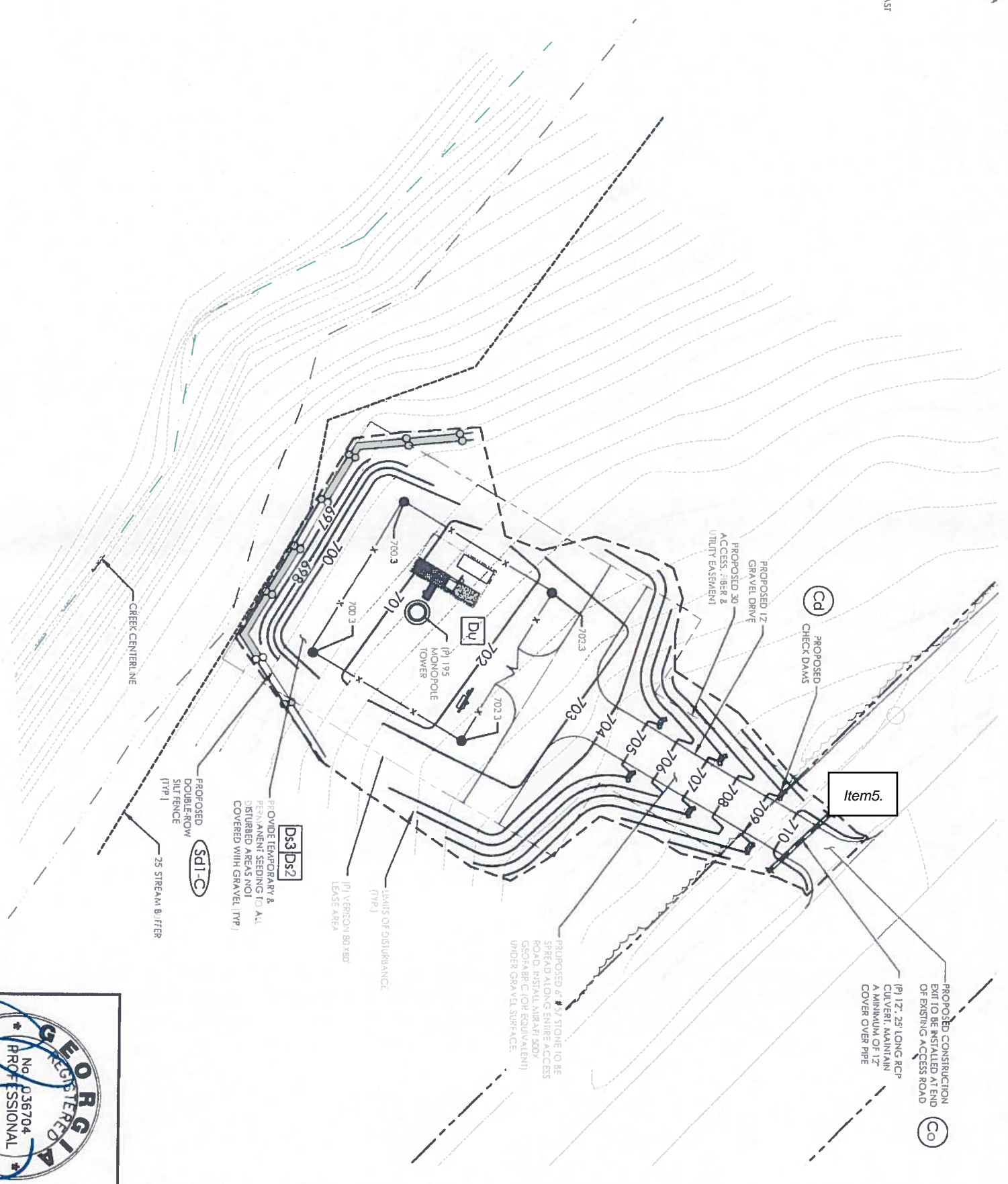
Du
DISTURBED AREA DUST CONTROL - TO CONTROL THE SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITES, ROADWAYS, AND SIMILAR SITES.

GRUBBING NOTE:
CONTRACTOR SHALL GRUB APPROXIMATELY 4" OF TOP SOIL FROM PROPOSED ACCESS ROAD AND FENCED COMPOUND AREA. TOP SOIL SHALL BE REMOVED AND REPLACED WITH CLEAN FILL PRIOR TO THE INSTALLATION OF GEOFABRIC.

LIMITS OF DISTURBANCE: 12,570 S.F. (0.289 ACRES)



GRADING & EROSION CONTROL PLAN
SCALE: 1" = 30'



verizon		PM&A P. MARSHALL & ASSOCIATES	
PRICEMILL ROAD			
NEAR PRICEMILL ROAD BISHOP, GA 30621			
LOCATION CODE: 500319			
NO	DATE	DESCRIPTION	
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1	2/24/2020	CONSTRUCTION & PERMITS ISSUE	
DESIGNED BY	CTW	DATE	AA1
DRAWN BY	CTW	DATE	VW18-056
CHECKED BY	PWM	DATE	
GRADING & EROSION CONTROL PLAN			
C-5			



PRICEMILL ROAD

NEAR PRICEMILL ROAD
BISHOP, GA 30621

LOCATION CODE:
500319

NO.	DATE	DESCRIPTION
0	2/17/2020	PRELIM ISSUE
1	2/24/2020	CONSTRUCTION & PERMANENT ISSUE

DESIGNED BY:	CTW	3/5/1
DRAWN BY:	CTW	
CHECKED BY:	PWM	VW18-056

GRADING & EROSION CONTROL NOTES

C-6

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND HILL SLOPES, SHOULDERS, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

CONVENTIONAL SEEDING EQUIPMENT: GRADE SHAPE AND SMOOTH WHERE NEEDED TO PROVIDE FOR SAFE EQUIPMENT OPERATION. SEEDING TIME AND FOR MAINTENANCE PURPOSES, THE LIKES AND FERTILIZER FORM WILL BE SPREAD UNIFORMLY OVER THE AREA IMMEDIATELY BEFORE SEEDING OPERATION. A SEEDBED WILL BE PREPARED BY SCARIFYING TO A DEPTH OF 1 TO 2 INCHES AS DETERMINED ON SITE. THE SEEDBED MUST BE WELL FULVERIZED, SMOOTHED, AND FINISHED AS DETERMINED ON SITE. THE SEEDBED MUST BE CUT/FACKER/SEEDER DRILL/ROTARY SEEDER, OR OTHER MECHANICAL OR HAND SEEDER. SEED WILL BE DISTRIBUTED UNIFORMLY OVER A FRESHLY PREPARED SEEDBED AND COVERED LIGHTLY WITHIN 24 HOURS AFTER SEEDING. STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. MULCH WILL BE SPREAD WITH CONVENTIONAL MULCH EQUIPMENT OR BY HAND AND ANCHORED IMMEDIATELY AFTER IT IS SPREAD A DIS/HARROW WITH THE DIS/SET STRAIGHT OR A SPECIAL PACER DIS/HARROW BE USED TO PRESS THE MULCH INTO THE SOIL. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
AGRICULTURAL LIMESTONE #75 FERTILIZER, 5-10-15 MULCH (STRAW OR HAY)	4000 LBS./ACRE 500 LBS./ACRE 5000 LBS./ACRE	3/1 - 6/15
HULLED COMMON BERBERIDA GRASS	10 LBS.	3/1 - 6/15
FESCUE	50 LBS.	9/1 - 10/31
FESCUE	50 LBS.	11/1 - 2/28
RYE GRASS	50 LBS.	
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15 - 8/31

- B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL.
FERTILIZER (AMMONIUM NITRATE 33.5%) 300 LBS./ACRE
- C. SECOND-YEAR TREATMENT:
FERTILIZER (5-10-15 OR EQUIVALENT) 800 LBS./ACRE

GENERAL

THIS VEGETATIVE PLAN WILL BE CARRIED OUT ON ROAD CUT AND HILL SLOPES, SHOULDERS, AND OTHER CRITICAL AREAS CREATED BY CONSTRUCTION. SEEDING WILL BE DONE AS SOON AS CONSTRUCTION IN AN AREA IS COMPLETED. PLANTINGS WILL BE MADE TO CONTROL EROSION, TO REDUCE DAMAGE FROM SEDIMENT AND RUNOFF TO DOWNSTREAM AREAS AND TO IMPROVE THE SAFETY AND BEAUTY OF THE DEVELOPMENT AREA.

SOIL CONDITIONS

DUE TO GRADING AND CONSTRUCTION, THE AREAS TO BE TREATED ARE MAINLY SUBSOIL AND SUBSTRATES. FERTILITY IS LOW AND THE PHYSICAL CHARACTERISTICS OF THE EXPOSED MATERIAL ARE UNFAVORABLE TO ALL BUT THE MOST HARDY PLANTS.

TREATMENT SPECIFICATIONS

HYDRAULIC SEEDING EQUIPMENT: WHEN HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS USED, NO GRADING AND SHAPE OR SEEDBED PREPARATION WILL BE REQUIRED. THE FERTILIZER, SEED AND WOOD CELLULOSE FIBER MULCH WILL BE MIXED WITH WATER AND APPLIED IN A SLURRY. ALL SLURRY INGREDIENTS MUST BE COMBINED TO FORM A HOMOGENEOUS MIXTURE AND SPREAD UNIFORMLY OVER THE AREA WITHIN ONE HOUR AFTER MIXTURE IS MADE. STRAW OR HAY MULCH AND ASPHALT EMULSION WILL BE APPLIED WITH BLOWER TYPE MULCH SPREADING EQUIPMENT WITHIN 24 HOURS AFTER SEEDING. THE MULCH WILL BE SPREAD UNIFORMLY OVER THE AREA, LEAVING ABOUT 25 PERCENT OF THE GROUND SURFACE EXPOSED. THE PER ACRE APPLICATION RATES ARE AS FOLLOWS:

SEED SPECIES	APPLICATION RATE/ACRE	PLANTING DATES
SEERICA LESPEDEA, SCARIFIED WEEPRING LOVE GRASS, OR COMMON BERBERIDA, HULLED	60 LBS. 4 LBS. 6 LBS.	3/1 - 6/15
FESCUE SEERICA LESPEDEA, UNSCARIFIED	40 LBS. 60 LBS.	9/1 - 10/31
FESCUE SER CEA LESPEDEA, UNSCARIFIED RYE	40 LBS. 75 LBS. 50 LBS.	11/1 - 2/28
HAY MULCH FOR TEMPORARY COVER	5000 LBS.	6/15 - 8/31

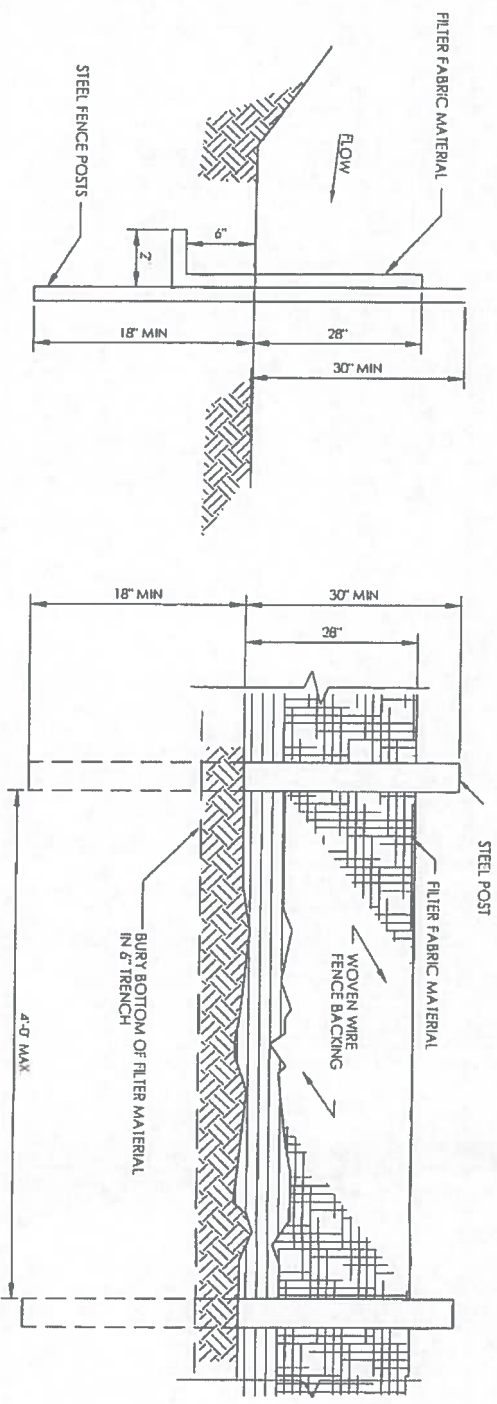
- B. TOP DRESSING: APPLY WHEN PLANTS ARE 2 TO 4 INCHES TALL.
FERTILIZER (AMMONIUM NITRATE 33.5%) 300 LBS./ACRE
- C. SECOND-YEAR TREATMENT:
FERTILIZER (5-10-15 OR EQUIVALENT) 500 LBS./ACRE

PIEDMONT VEGETATIVE COVERS

CALENDAR MONTH	TEMPORARY SEED	APPLICATION RATE/ACRE	PERMANENT SEED	APPLICATION RATE/ACRE
1. JANUARY	RYE GRASS	40-50 LB	UNHULLED BERBERIDA SEERICA LESPEDEA	8-10 LB 30-40 LB
2. FEBRUARY			UNHULLED BERBERIDA SEERICA LESPEDEA FESCUE	8-10 LB 30-40 LB 30-50 LB
3. MARCH	RYE ANNUAL LESPEDEA WEEPRING LOVE GRASS	2-3 BU 20-25 LB 4-6 LB	UNHULLED BERBERIDA SEERICA LESPEDEA FESCUE	8-10 LB 30-40 LB 30-50 LB
4. APRIL	RYE BROWN TOP MILLET ANNUAL LESPEDEA SUDAN ANNUAL	2-3 BU 30-40 LB 20-25 LB 35 LB	WEEPRING LOVE GRASS HULLED BERBERIDA BAHIA	4-6 LB 5-6 LB 40-60 LB
5. MAY	WEEPRING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB 35 LB 30-40 LB	WEEPRING LOVE GRASS HULLED BERBERIDA BAHIA	4-6 LB 5-6 LB 40-60 LB
6. JUNE	WEEPRING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB 35 LB 30-40 LB	WEEPRING LOVE GRASS HULLED BERBERIDA BAHIA	4-6 LB 5-6 LB 40-60 LB
7. JULY	WEEPRING LOVE GRASS SUDAN GRASS BROWN TOP MILLET	4-6 LB 35 LB 30-40 LB	WEEPRING LOVE GRASS HULLED BERBERIDA BAHIA	4-6 LB 5-6 LB 40-60 LB
8. AUGUST	RYE GRASS WEEPRING LOVE GRASS	40-50 LB 4-6 LB		
9. SEPTEMBER	WHEAT	2-3 BU	TALL FESCUE	30-50 LB
10. OCTOBER	WHEAT	2-3 BU	UNHULLED BERBERIDA SEERICA LESPEDEA FESCUE	8-10 LB 30-40 LB 30-50 LB
11. NOVEMBER	WHEAT	2-3 BU	UNHULLED BERBERIDA SEERICA LESPEDEA FESCUE	8-10 LB 30-40 LB 30-50 LB
12. DECEMBER	RYE RYE GRASS WHEAT	2-3 BU 40-50 LB 2-3 BU	UNHULLED BERBERIDA SEERICA LESPEDEA FESCUE	8-10 LB 30-40 LB 30-50 LB

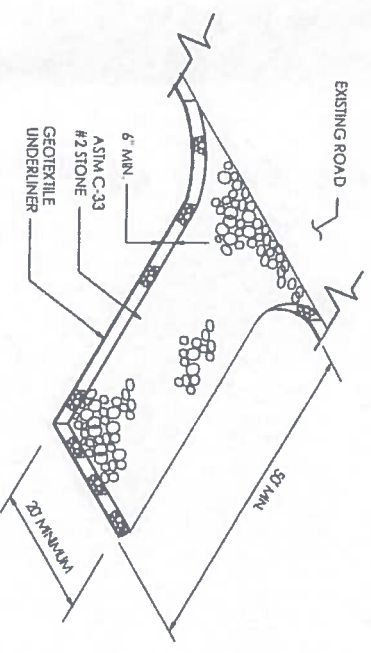
- Ds2** DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
- Ds3** DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)



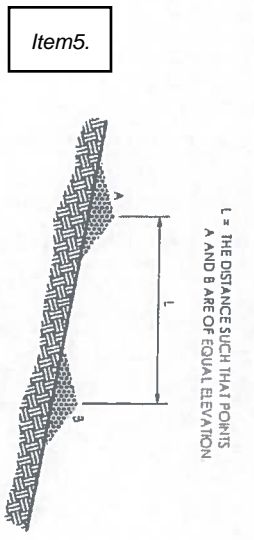


NOTE: USE 36\"/>

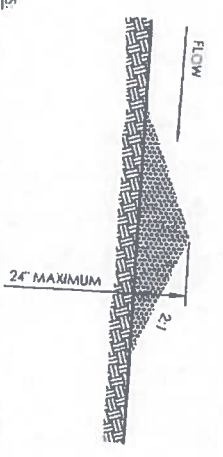
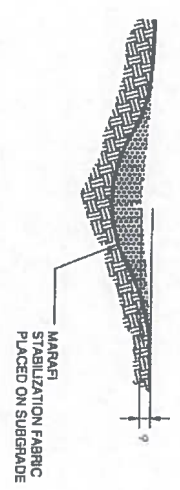
SD1-C SILT FENCE, TYPE-C
NOT TO SCALE



Co CONSTRUCTION EXIT
NOT TO SCALE



STONE CHECK DAM



NOTES:
CHECK DAMS TO BE CONSTRUCTED OF GRADED SIZE 2 - 10 INCH STONE. MECHANICAL OR HAND PLACEMENT SHALL BE REQUIRED TO INSURE COMPLETE COVERAGE OF ENTIRE WIDTH OF DITCH OR SWALE AND THAT CENTER OF DAM IS LOWER THAN EDGES.
SEDIMENT TO BE REMOVED WHEN A LEVEL OF 1/2 THE ORIGINAL DAM HEIGHT OR LESS IS REACHED. REMOVE CHECK DAMS AT COMPLETION OF PROJECT AND TREAT RESULTING DISTURBED AREAS AS REQUIRED.

Cd CHECK DAM
NOT TO SCALE



PRICEMILL ROAD

NEAR PRICEMILL ROAD
BISHOP, GA 30621

LOCATION CODE:
500319

NO.	DATE	DESCRIPTION
0	2/17/2020	PRELIM SIZE
1	2/24/2020	CONSTRUCTION & REBAR SIZE

DESIGNED BY	CTW	DATE	03/1
DRAWN BY	CTW		
CHECKED BY	PWM		VW18-056

GRADING & EROSION CONTROL DETAILS

C-7





P. MARSHALL & ASSOCIATES

PRICEMILL ROAD

NEAR PRICEMILL ROAD
BISHOP, GA 30621

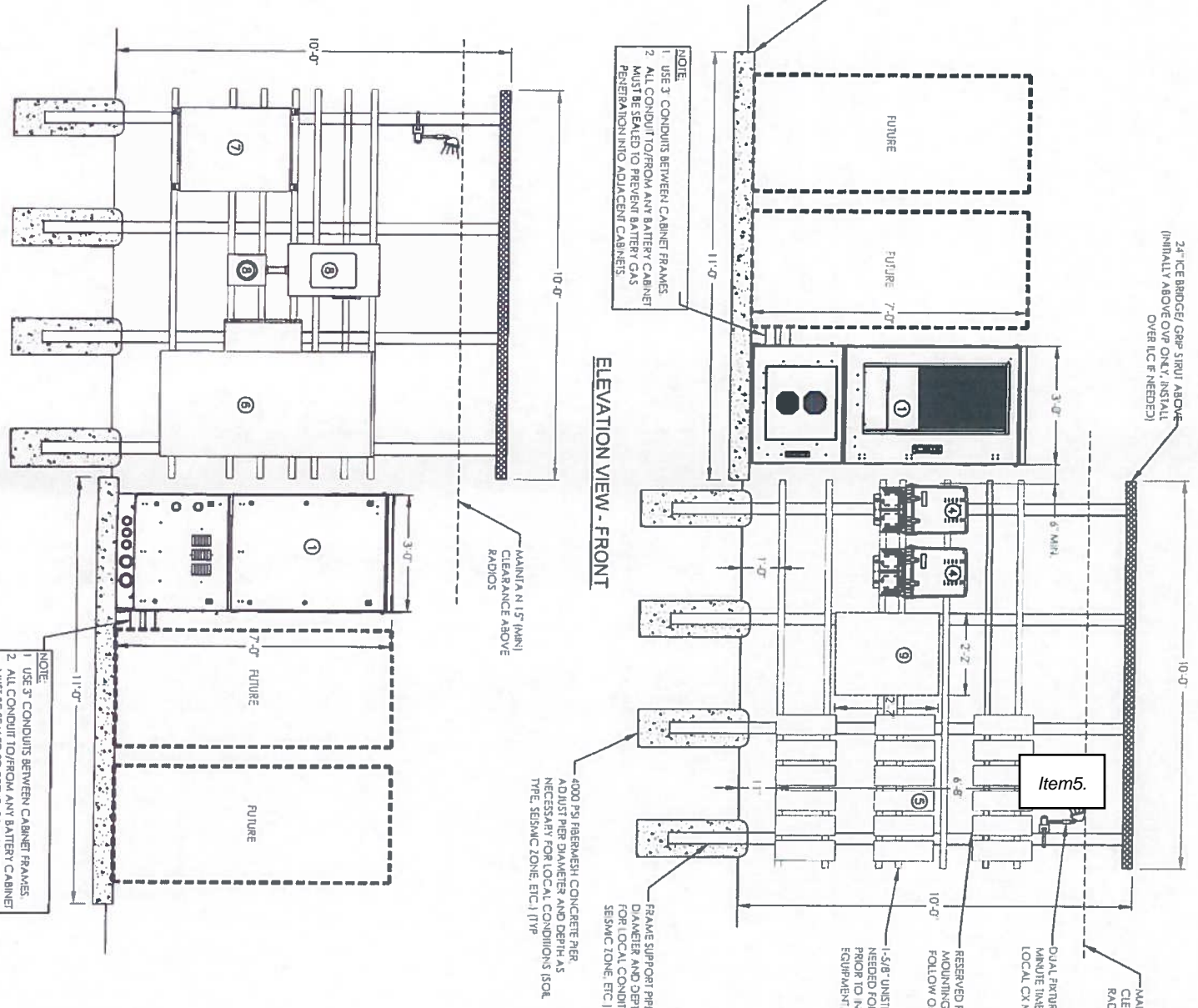
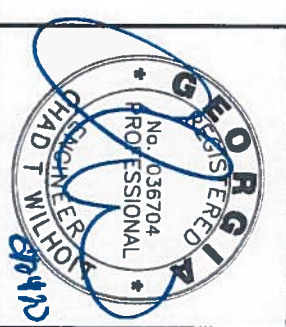
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NO.	DATE	DESCRIPTION
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1	2/24/2020	CONSTRUCTION & REMAIN ISSUE

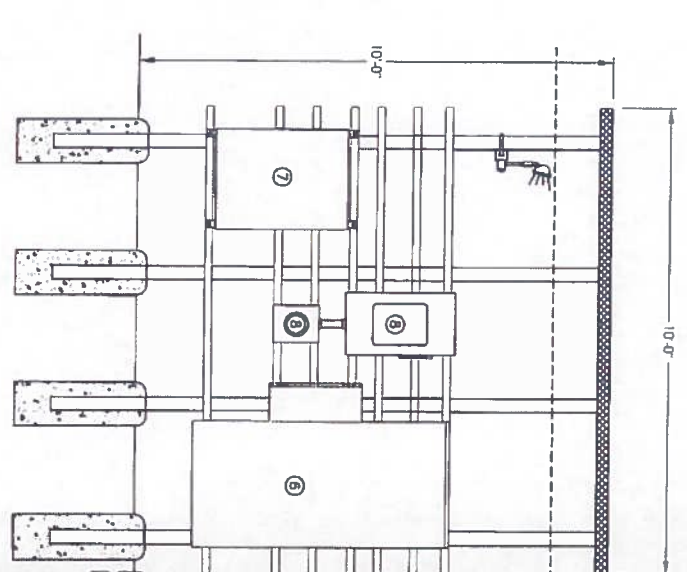
DESIGNED BY	CTW	DATE	2/24
DRAWN BY	CTW		
CHECKED BY	PWM		
			VW18-056

EQUIPMENT ELEVATION

C-8



ELEVATION VIEW - REAR



- LEGEND**
- ① PRIMARY CABINET
 - ② (NOT USED)
 - ③ (NOT USED)
 - ④ 0V-12 (PROPOSED AND FUTURE AS NEEDED)
 - ⑤ RADIO MOUNTING AREA, FOLLOW O&M SPECS
 - ⑥ ILC CABINET WITH CAMLOCK (IF NEEDED)
 - ⑦ DARK FIBER JUNCTION BOX (RESERVE SPACE FOR TELCO CABINET IF NECESSARY)
 - ⑧ METER & DISCONNECT (UNLESS METER IS LOCATED AT A CENTRAL METER BANK/PACK)
 - ⑨ RESERVED SPACE FOR CHARLES TELCO CABINET / CIRCUIT / FIBER DEMAND (AS REQUIRED)

NOTE:
EACH CABINET SIZE ON THE DRAWINGS HAVING RANGES OF 30" - 36" W. X 72" - 84" H. X 36" - 48" D. (WITH COOLING SYSTEM)

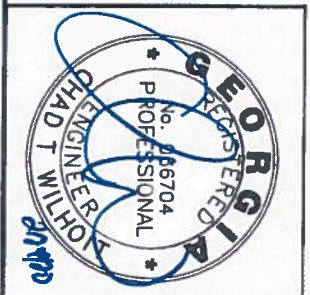
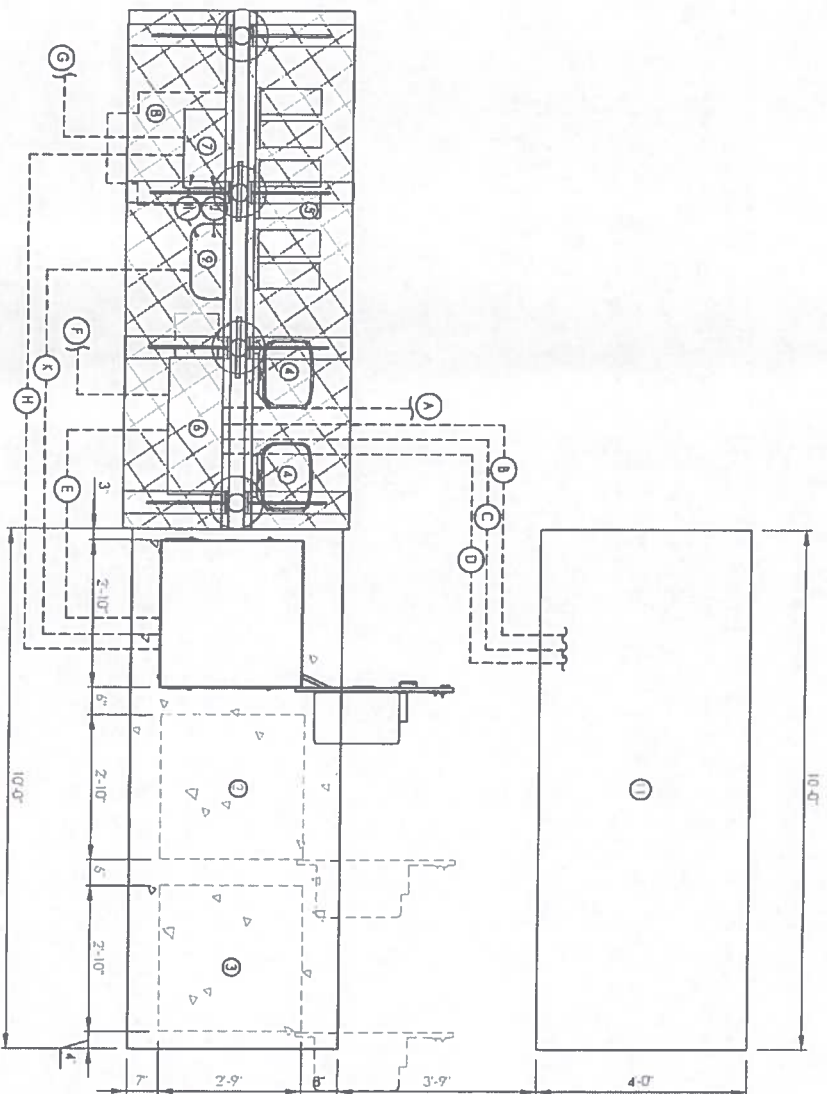
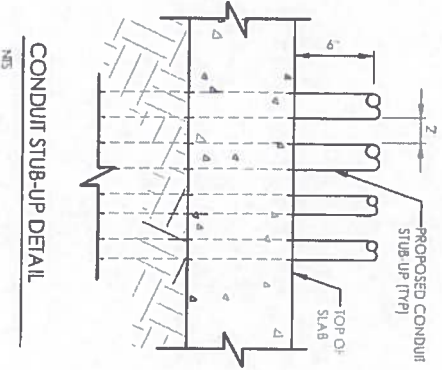
NOTE:
1. WHEN H-FRAME IS INSTALLED ADJACENT TO CABINET PAD, INTERCONNECTING CONDUITS SHALL BE INSTALLED AT OR ABOVE GRADE.



6" THK. (MIN) CONCRETE SLAB
4000 PSI FIBERWEH CONCRETE
ADJUST THICKNESS AND DESIGN IF NECESSARY FOR LOCAL CONDITIONS (REINFORCEMENT, SOIL TYPE, SEISMIC ZONE, ETC.) (TYP)

- LEGEND**
- ① PRIMARY CABINET
 - ② BATTERY CABINET
 - ③ GROWTH CABINET
 - ④ OVP (PROPOSED AND FUTURE AS NEEDED)
 - ⑤ RESERVE SPACE FOR FUTURE GROUND RADIOS
 - ⑥ ILC CABINET
 - ⑦ DARK FIBER JUNCTION BOX (RESERVE SPACE FOR CHARLES TELCO CABINET IF NECESSARY)
 - ⑧ RESERVE PLACE FOR CHARLES TELCO
 - ⑨ FIBER DEMARC FOR TELCO (AS REQUIRED)
 - ⑩ METER & DISCONNECT SWITCH (AS REQUIRED)
 - ⑪ FUTURE GENERATOR

UNDERGROUND CONDUIT SCHEDULE

NO.	SIZE	FROM	TO	FOR
A	2"	DISC. SWITCH (AS REQUIRED)	ILC	POWER
B	1 1/2"	ILC	GENERATOR MAIN SWITCH	POWER
C	1"	ILC	GENERATOR	POWER, HEATER & BATT CONTROL / ALARMS
D	1"	ILC	PRIMARY CABINET	GEN. ILC ALARMS
E	1"	ILC	GFC / LIGHT	POWER
F	2"	VIEW FIBER HH	TELCO DEMARC BOX	TELCO
G	2"	TELCO BOX	EQUIPMENT CABINETS	TELCO
H	2"	TELCO BOX	FIBER IN/OUT	TELCO
I	1-1/4"	TELCO BOX	FIBER IN/OUT	TELCO
J	1-1/4"	TELCO BOX	FIBER IN/OUT	TELCO
K	1-1/4"	EQUIPMENT CABINET	FIBER IN/OUT	TELCO
L	2"	MULTI GANG METER	DISC. SWITCH (AS REQD)	POWER



 verizon	 P. MARSHALL & ASSOCIATES	PRICEMILL ROAD NEAR PRICEMILL ROAD BISHOP, GA 30621	LOCATION CODE: 500319	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>2/17/2020</td> <td>PRELIM STUDY</td> </tr> <tr> <td>1</td> <td>2/24/2020</td> <td>CONSTRUCTION & PERMIT ISSUE</td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	0	2/17/2020	PRELIM STUDY	1	2/24/2020	CONSTRUCTION & PERMIT ISSUE
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1	2/24/2020	CONSTRUCTION & PERMIT ISSUE											
EQUIPMENT LAYOUT C-9		DESIGNED BY: CTW DRAWN BY: CTW CHECKED BY: PWM	AS 1 VW18-056										



PRICEMILL ROAD

NEAR PRICEMILL ROAD
BISHOP, GA 30621

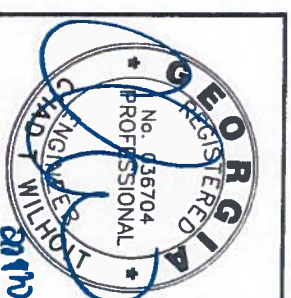
LOCATION CODE:
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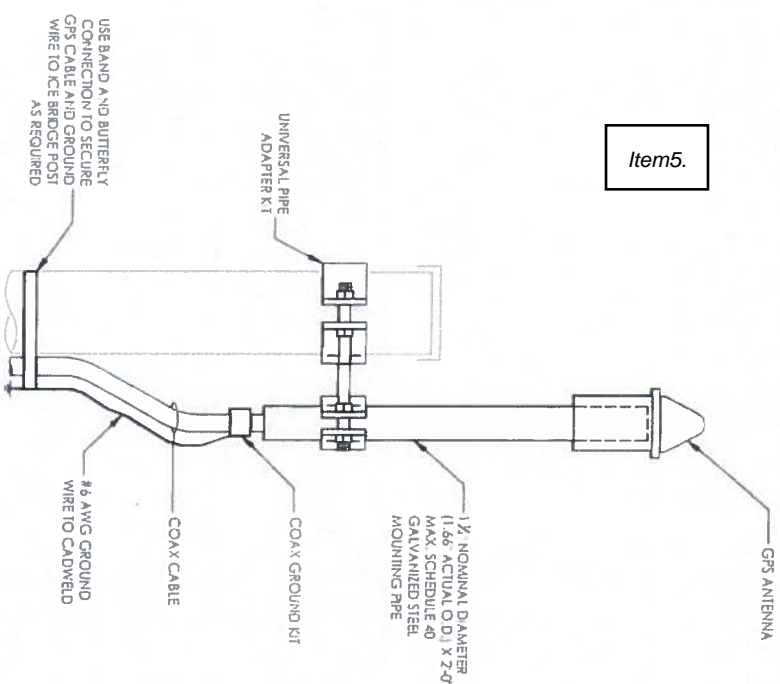
DESIGNED	CTW	/24 1
DRAWN	CTW	
CHECKED	PWM	VW18-056

ICE BRIDGE
ELEVATION

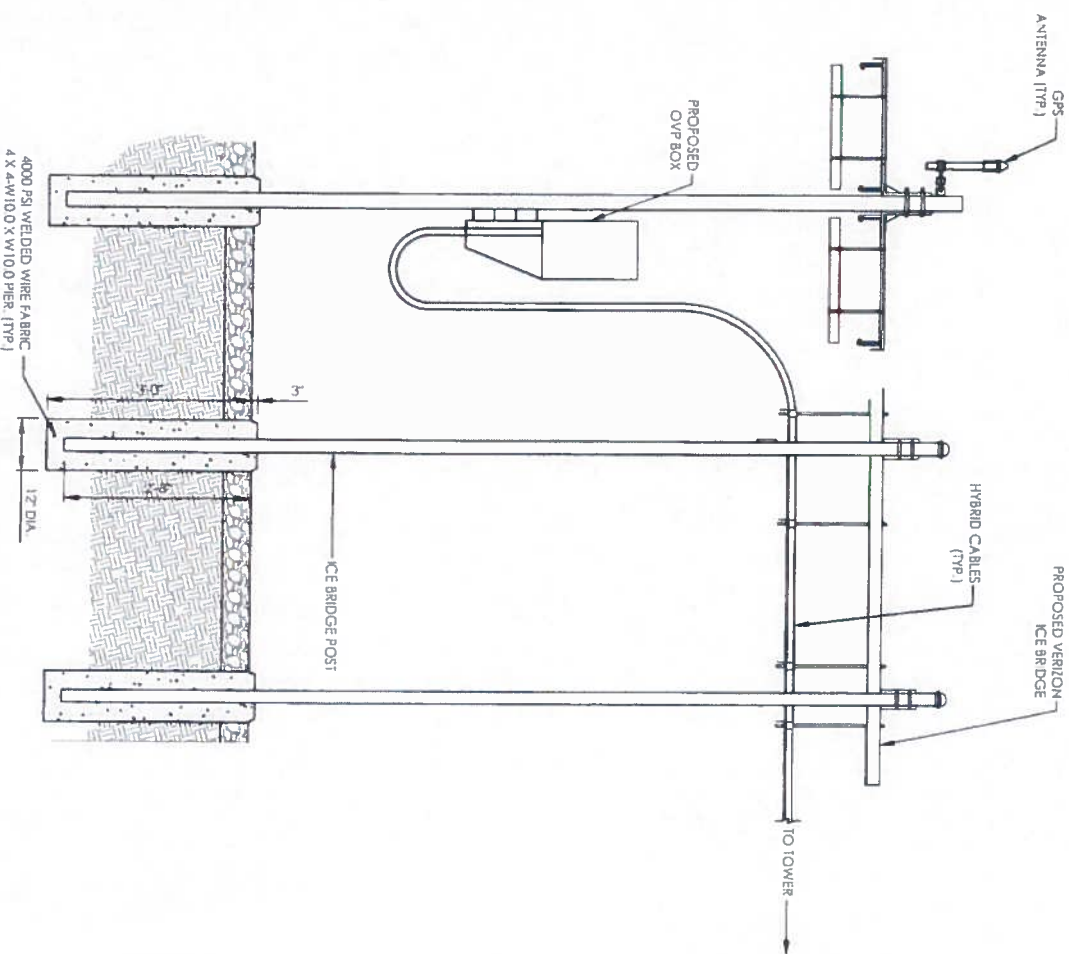
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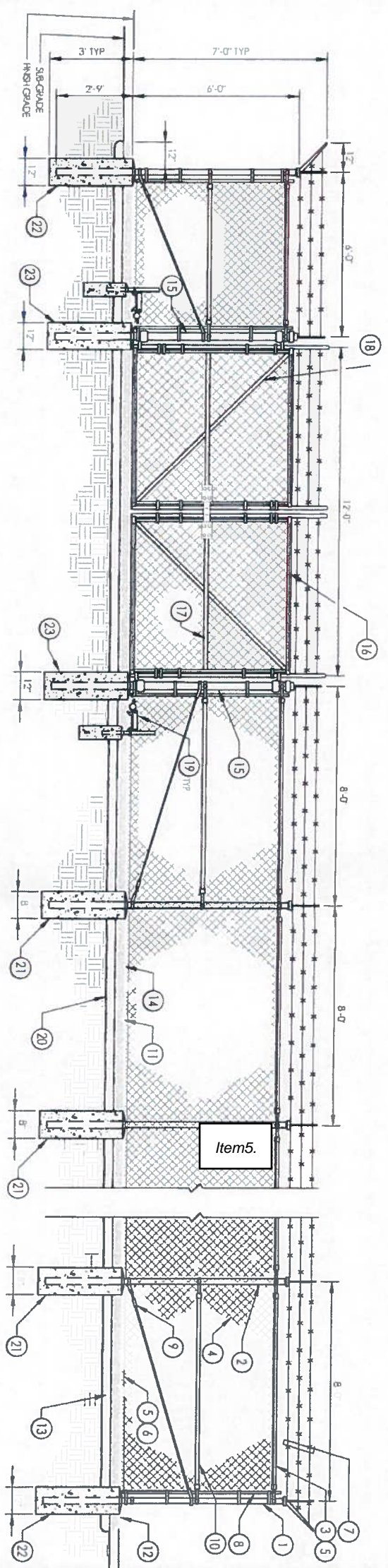
Item5.



GPS ANTENNA MOUNTING DETAIL
NOT TO SCALE



ICE BRIDGE ELEVATION
NOT TO SCALE



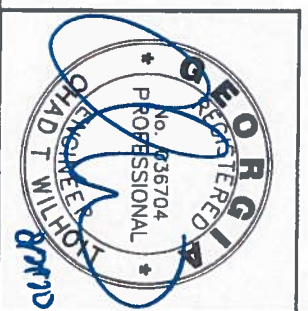
FENCE DETAILS
NOT TO SCALE

REFERENCE NOTES:

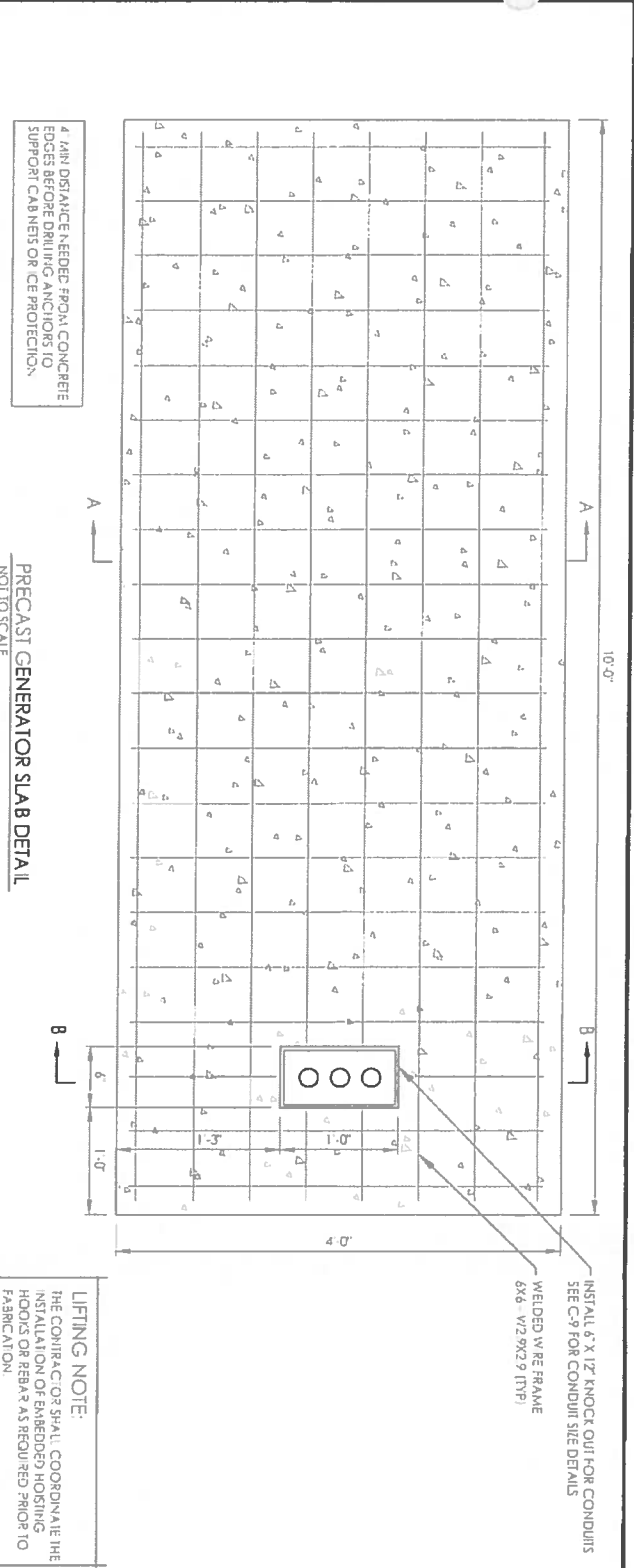
- 1 CORNER END OR RAIL POST 3 NOMINAL SCHEDULE 40 PIPE
- 2 LINE POSTS 2 1/2" SCHEDULE 40 PIPE PER ASTM F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 8'-0" C.
- 3 TOP RAIL & BRACE RAIL: 1 1/2" PIPE PER ASTM F1083
- 4 FABRIC: 9 GA CORE WIRE SIZE 2" MESH CONFORMING TO ASTM A392. THE WIRE MINIMUM 11 GA GALVANIZED STEEL AT POSTS AND RAILS. A SINGLE WRAP OF FABRIC TO BE WELDED AT TENSION WIRE BY HOG RINGS SPACED MAX 24" INTERVALS
- 5 TENSION WIRE: 9 GA GALVANIZED STEEL
- 6 BARBED WIRE: DOUBLE STRAND 12 1/2" O.D. TWISTED WIRE TO MATCH WITH FABRIC. 1/4 GA, 4 PT. BARBS SPACED ON APPROXIMATELY 3" CENTERS
- 7 STREICHER BAR
- 8 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD
- 9 FENCE CORNER POST BRACE: 1 1/2" DIA. EACH CORNER EACH WAY
- 10 1 1/2" MAXIMUM CLEARANCE FROM GRADE
- 11 2" FINISH OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK
- 12 4" COMPACTED 95% BASE MATERIAL OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK
- 13 FINISH GRADE SHALL BE UNIFORM AND LEVEL
- 14 GATE POST 4" SCHEDULE 40 PIPE FOR GATE WIDTHS UP THRU 7 FEET OR 14 FEET FOR DOUBLE SWING GATE PER ASTM F1083
- 15 GATE FRAME: 1 1/2" PIPE PER ASTM F1083
- 16 GATE FRAME: 1 5/8" DIAMETER PIPE PER ASTM F1083
- 17 GATE DIAGONAL GALVANIZED STEEL 1 1/2" PIPE
- 18 DUCK BILL OPEN GATE HOLDER VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION
- 19 GEOTEXTILE FABRIC
- 20 LINE POST CONCRETE FOUNDATION (2000 PSI)
- 21 CORNER POST CONCRETE FOUNDATION (2000 PSI)
- 22 GATE POST CONCRETE FOUNDATION (2000 PSI)

GENERAL NOTES:

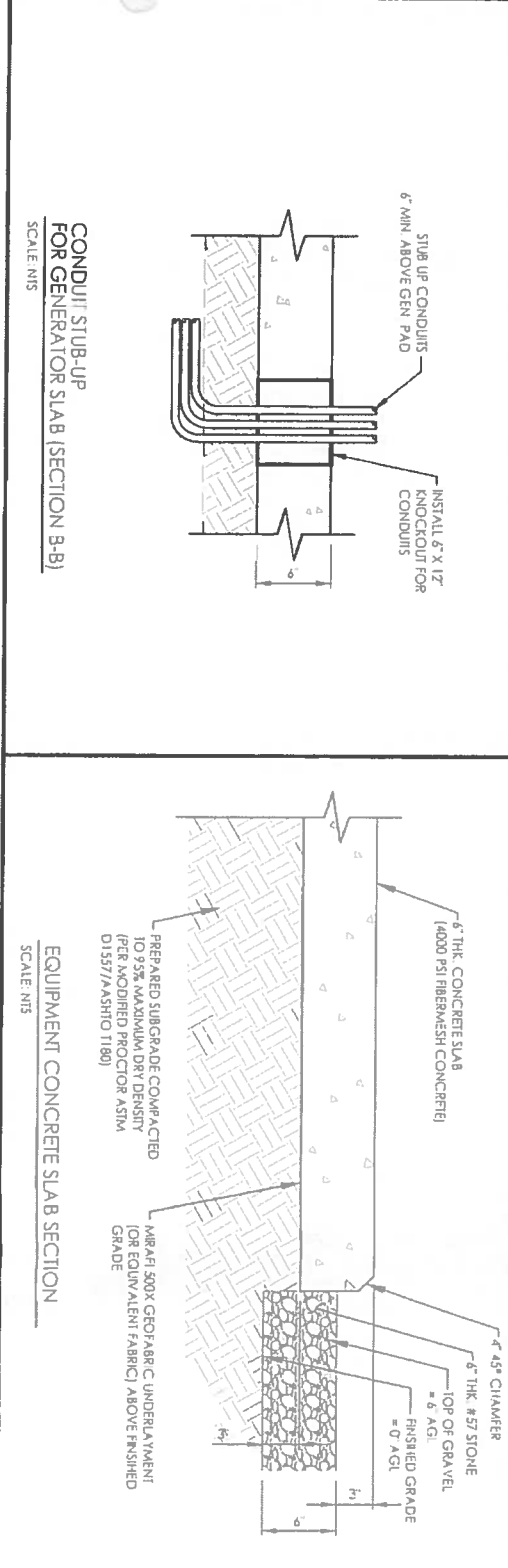
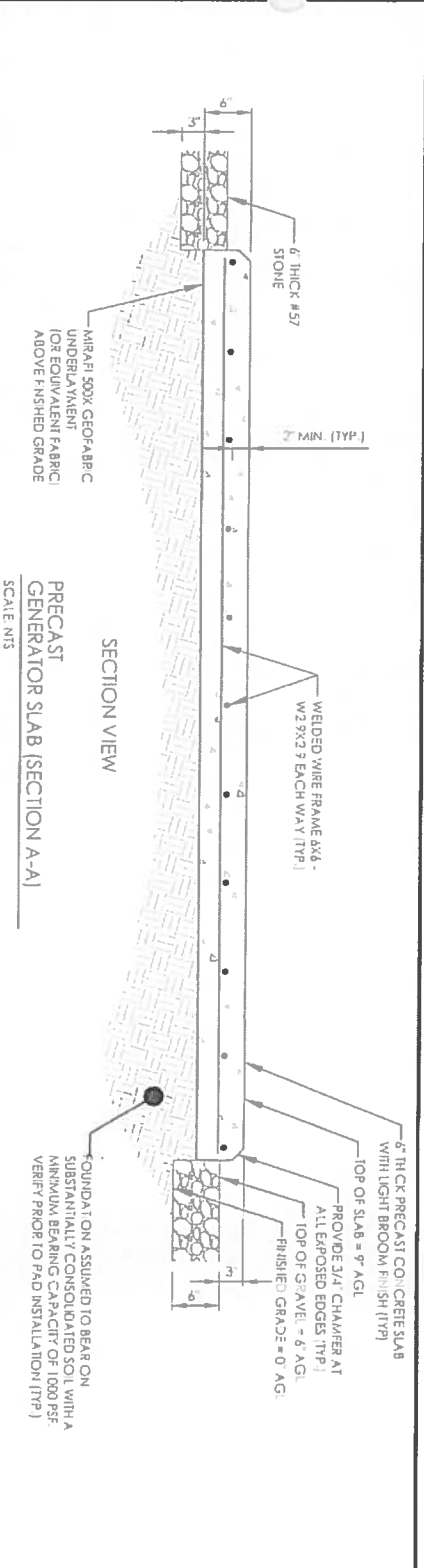
- 1. INSTALL FENCING PER ASTM F-567
- 2. INSTALL SWING GATES PER ASTM F-900
- 3. LOCAL ORDINANCE OF BARBED WIRE PERMITS REQUIREMENT SHALL BE COMPLETED IF REQUIRED.
- 4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE 1 1/2" GALV. (HOT DIP, ASTM A170 GRADE "A" STEEL) ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL)
- 5. ALL OPEN POSTS SHALL HAVE END-CAPS
- 6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS
- 7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC



 P. MARSHALL & ASSOCIATES												
PRICEMILL ROAD NEAR PRICEMILL ROAD BISHOP, GA 30621												
LOCATION CODE: 500319												
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DESIGNER: CTW DRAWN: CTW CHECKED: PVM	JOB # VW18-056											
FENCE DETAILS												
C-11												



LIFTING NOTE:
THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF EMBEDDED HOISTING HOOKS OR REBAR AS REQUIRED PRIOR TO FABRICATION.



- REINFORCED CONCRETE NOTES:**
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 308, ASTM A108, ASTM A185, IRC 2006.
 - PRECAST CONCRETE FOR SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI. CONCRETE TESTING IS NOT REQUIRED UNLESS NOTED OTHERWISE BY THE JURISDICTION HAVING AUTHORITY.

Item 5.
4" MIN. / 6" MAX. BARRIMENT - 2% TO 3% BY VOLUME

CLASSES OF CONCRETE	28 DAY STRENGTH (PSI)	WATER/CEMENT RATIO	MAX. PLACEMENT LOCATION	NOTES
TYPE I	3000	0.55	PRECAST SLABS	HIGHERLY WEIGHT
TYPE III	5000	0.45	SITE CAST SLABS & POST FOOTINGS	HIGH EARLY STRENGTH

* IF REQUIRED BY THE CONSTRUCTION SCHEDULE THE CONTRACTOR MAY SUBSTITUTE TYPE III HIGH EARLY STRENGTH CONCRETE WITH THE APPROVAL OF THE CONSTRUCTION MANAGER.

- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPICES FOR REBAR SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD. UNO, LAPS FOR WELDED WIRE FABRIC SHALL BE AT LEAST 18 INCHES, UNO.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL, UNLESS SHOWN OTHERWISE ON DRAWINGS:
CONCRETE CAST AGAINST EARTH 3"
CONCRETE EXPOSED TO DIRT OR WEATHER 2"
#5 AND SMALLER & W/F 1-1/2"
#6 AND LARGER 2"
- MAXIMUM COARSE AGGREGATE SIZE SHALL BE 3/4".
- MAINTAIN THE TEMPERATURE OF CAST IN PLACE CONCRETE AT BETWEEN 50 AND 90 DEGREES FAHRENHEIT. IF COLDER OR HOTTER CONDITIONS EXIST THE CONCRETE MIX DESIGN SHALL BE ADJUSTED ACCORDINGLY.
- DO NOT USE RETEMPERED CONCRETE.
- INSTALLATION OF CONCRETE ANCHORS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS. THE ANCHOR BOLT, DOWEL, OR ROD SHALL CONFORM TO THE ANCHOR MANUFACTURER'S SPECIFICATIONS FOR MATERIAL STRENGTH, EMBEDMENT DEPTH, SPACING, AND EDGE DISTANCE OR AS DETAILED ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL. WHEN DRILLING HOLES IN CONCRETE EXPANSION BOLTS SHALL BE PROVIDED BY RAMMED/REDHEAD, HITL, OR APPROVED EQUAL. IF THE MANUFACTURER'S SPECIFICATIONS AND DETAILS ARE FOUND TO CONFLICT WITH THAT SHOWN HEREIN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY FROST LINE AND FOOTING DEPTH REQUIREMENTS WITH THE JURISDICTION HAVING AUTHORITY PRIOR TO CONSTRUCTION.

CHAD T. WILCOX
PROFESSIONAL ENGINEER
No. 036704
STATE OF GEORGIA

verizon

PM&A
P. MARSHALL & ASSOCIATES

PRICEMILL ROAD

NEAR PRICEMILL ROAD
BISHOP, GA 30621

LOCATION CODE:
500319

NO	DATE	DESCRIPTION
0	2/17/2020	PRELIM ISSUE
1	2/24/2020	CONSTRUCTION & PERMITS ISSUE

DESIGNED BY	CHECKED BY	DATE
CTW	CTW	03/1
BE:MM	PWM	VW18-056
CF:CB		

FOUNDATION DETAILS

C-12

ELECTRICAL INSTALLATION NOTES:

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT'S SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES
2. CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED
3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND RECORDS
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND RECORD A
5. CABLES SHALL NOT BE ROUTED THROUGH LADDER STYLE CABLE TRAY RUNGS
6. EACH END OF EVERY POWER POWER PHASE CONDUCTOR (IE. HOIS), GROUNDING AND TI CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TIE TAG BRAND, 1/2" WICH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUIVAL. THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC 8 05A.
7. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (IE. PANELBOARD AND CIRCUIT ID'S)
8. PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS
9. ALL THE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES
10. POWER, CONTROL AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (M 14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90°C (WEI AND DRY) OPERATION, LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
11. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED IN DOORS SHALL BE SINGLE CONDUCTOR (M 6 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90°C (WEI AND DRY) OPERATION, LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED
12. POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTIPLE CONDUCTOR, TYPE TC CABLE (M 14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90°C (WEI AND DRY) OPERATION, WITH OUTER JACKET, LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED
13. ALL POWER AND POWER GROUNDING CONNECTIONS SHALL BE CAMP STYLE, COMPRESSION WIRE LUGS AND WIRE LUTS BY HOWAS AND SERIS (OR EQUAL). LUGS AND WIRE LUGS SHALL BE RATED FOR OPERATION AT NOT LESS THAN 75°C (190°C IF AVAILABLE)
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA UL, ANSV/IEEE AND NEC
15. ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS
16. ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS
17. GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE
18. RIGID NONMETALLIC CONDUIT (RNC), RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80 SHALL BE USED UNDERGROUND DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR BROADCAST REINFORCED CONCRETE AREAS OF HEAVY VEHICLE TRAFFIC
19. LIQUID TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID TIE FLEX) SHALL BE USED IN DOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED
20. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION TYPE AND APPROVED FOR THE LOCATION USED. SERISREW FITTINGS ARE NOT ACCEPTABLE
21. CABINET BOXES AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSV/IEEE, AND NEC
22. WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD, SHALL BE PANDUIT TYPE E (OR EQUAL), AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS
23. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50 AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS
24. METAL RECEPTACLE SWITCH AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING, SHALL MEET OR EXCEED UL 514A AND NEMA OS 1, AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
25. NONMETALLIC RECEPTACLE SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2, AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS
26. THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS
27. THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.

GROUNDING NOTES:

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO LIGHTNING PROTECTION, AND AC POWER GESS) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC
2. THE SUBCONTRACTOR SHALL PERFORM IEEE FEE F401 OF POTENTIAL RESISTANCE TO EARTH TESTING (IEEE 1102 AND 81) FOR GROUND ELECTRODE SYSTEMS. TESTING SHALL BE IN ACCORDANCE WITH IEEE 1102-2000-395-505000001. USE OF OTHER METHODS MUST BE PRE-APPROVED BY CONTRACTOR IN WRITING
3. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTARY OR LESS, WHEN ADDING ELECTRODES, CONTRACTOR SHALL MARK OTHER EXISTING ELECTRODE EQUAL TO THE BURIED LENGTH OF THE DISTANCE EQUAL TO TWICE THE BURIED LENGTH OF THE RODS.
4. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
5. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 AWG COPPER WIRE AND UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
6. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BUS EQUIPMENT
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUS ARE PERMITTED
8. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
9. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED IN ALL CASES. BENDS SHALL BE MADE WITH A MINIMUM BEND RADII OF 8 INCHES
10. EACH INTERIOR 315°C CABINET FRAME/RUNTS SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH #6 AWG STRANDED GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRE. EACH OUTDOOR CABINET FRAME/RUNTS SHALL BE DIRECTLY CONNECTED TO THE BURIED GROUND RING WITH # 2 AWG SOLID THW-PLAID COPPER WIRE
11. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING SHALL BE # 2 AWG SOLID THW-PLAID COPPER UNLESS OTHERWISE INDICATED
12. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE. CONNECTIONS TO ABOVE GRADE EXTERIOR UNITS SHALL BE MADE WITH EXOTHERMIC WELDS WHERE PRACTICAL, OR WITH 3-HOLE MECHANICAL TYPE BRASS CONNECTORS WITH STAINLESS STEEL HARDWARE INCLUDING SET SCREWS. HIGH PRESSURE CRIMP CONNECTORS MAY ONLY BE USED WITH WRITTEN PERMISSION FROM VERTON MARKET REPRESENTATIVE
13. EXOTHERMIC WELDS SHALL BE PERMITTED ON TOWERS ONLY WITH THE EXPRESS APPROVAL OF THE TOWER MANUFACTURER OR THE CONTRACTOR'S STRUCTURAL ENGINEER
14. ALL WIRE TO WIRE GROUND CONNECTIONS TO THE INTERIOR GROUND RING SHALL BE FORMED USING HIGH PRESS CRIMPS OR SPIT BOLTS
15. ON ROOFTOP SITES WHERE EXOTHERMIC WELDS ARE A FREE HAZARD COPPER COMPRESSION CAP CONNECTORS MAY BE USED FOR WIRE TO WIRE CONNECTIONS. 2-HOLE MECHANICAL TYPE BRASS CONNECTORS WITH STAINLESS STEEL HARDWARE, INCLUDING SET SCREWS SHALL BE USED FOR CONNECTION TO ALL ROOFTOP BUS EQUIPMENT AND STRUCTURAL STEEL
16. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR USING NYLO HOLED MECHANICAL TYPE BRASS CONNECTORS AND STAINLESS STEEL HARDWARE
17. APPROVED ANTI-OXIDANT COATINGS (IE. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS
18. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL
19. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC
20. BOND ALL METALLIC OBJECTS WITHIN 4 FT OF THE BURIED GROUND RING WITH #2 SOLID AWG THW-PLAID COPPER GROUND CONDUCTOR.
21. GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR STEELS THROUGH WALLS OR FLOORS, WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS. NONMETALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED, WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G. NONMETALLIC CONDUIT PROHIBITED BY LOCAL CODE). THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT WITH LISTED BONDING FITTINGS.

Item 5.



PRICEMILL ROAD

NEAR PRICEMILL ROAD
BISHOP, GA 30621

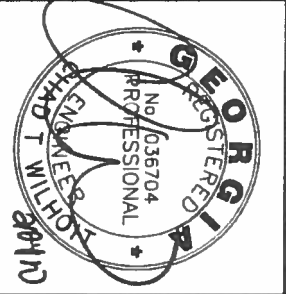
LOCATION CODE:
500319

NO	DATE	DESCRIPTION
0	2/17/2020	PRELIM ISSUE
1	2/24/2020	CONSTRUCTION & PERMIT ISSUE

DESIGNED BY	CTW	1/23/19
DRAWN BY	CTW	
CHECKED BY	PWM	VW18-056

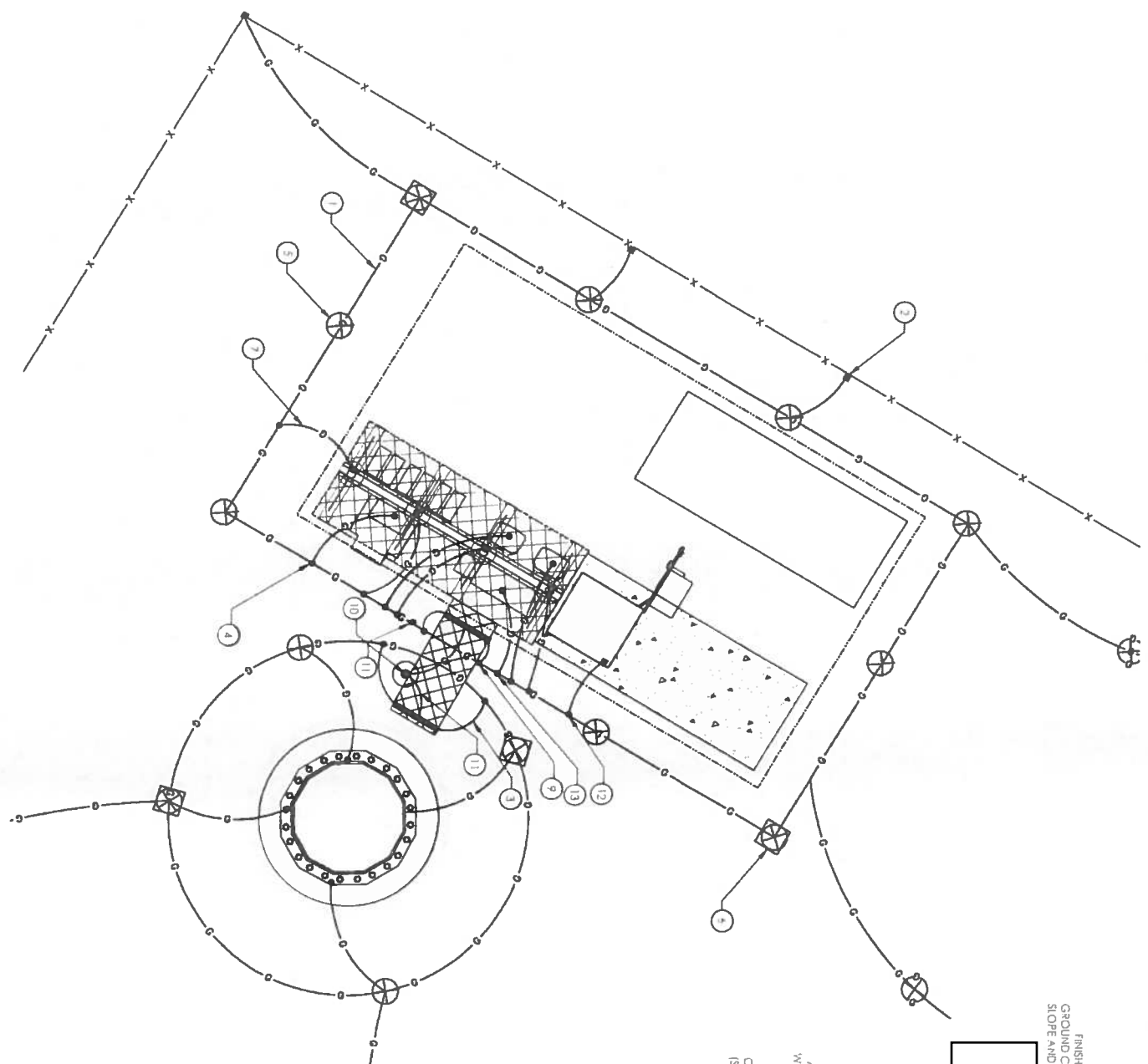
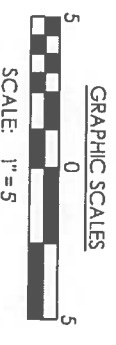
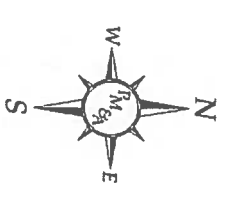
GENERAL ELECTRICAL & GROUNDING NOTES

E-1



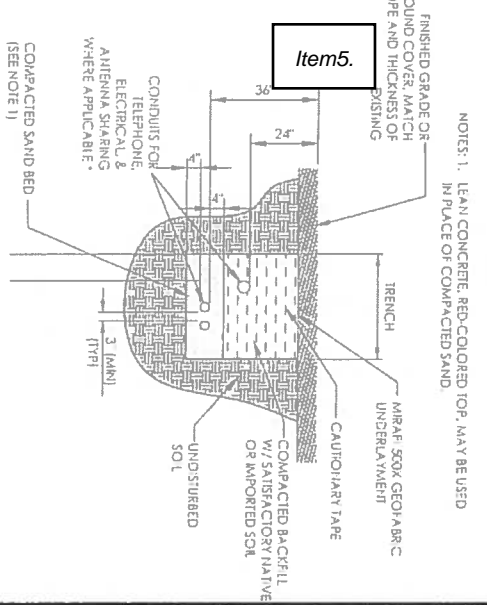
GROUNDING KEYNOTES:

- 1 #2 AWG BARE TINED SOLID COPPER GROUND RING BURIED 30" BELOW GRADE (TYPE 1).
- 2 BOND FENCE & GATE POSTS TO GROUND RING WITH CADWELD CONNECTIONS
- 3 BOND TOWER MOUNTED GROUND BARS TO TOWER GROUND RING (TYPE 2 PLACES)
- 4 GROUND TRANSPORT CABINET & BUS BAR TO GROUND RING PER MANUFACTURERS SPECIFICATIONS
- 5 PROPOSED GROUND ROD (TYPE 1)
- 6 PROPOSED GROUND ROD WITH INSPECTION WELL (TYPE 1)
- 7 BOND ALL H FRAME POSTS TO GROUND RING (TYPE 1).
- 8 N/A
- 9 BOND ICE BRIDGE GROUND BARS TO GROUND RING WITH #2 AWG SOLID BARE TINED COPPER WIRE (TYPE 2 PLACES)
- 10 BOND EVERY ICE BRIDGE POST BASE TO GROUND RING WITH CADWELD CONNECTION (TYPE 1)
- 11 BOND EACH ICE BRIDGE SECTION TOGETHER WITH JUMPERS BOND FIRST AND LAST SECTION TO GROUND RING
- 12 GROUND EQUIPMENT CABINET GROUNDING PER MANUFACTURERS SPECIFICATIONS.
- 13 GROUND ILC TO GROUND RING PER MANUFACTURERS SPECIFICATIONS



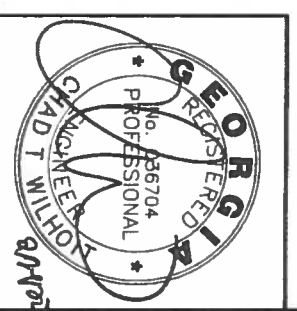
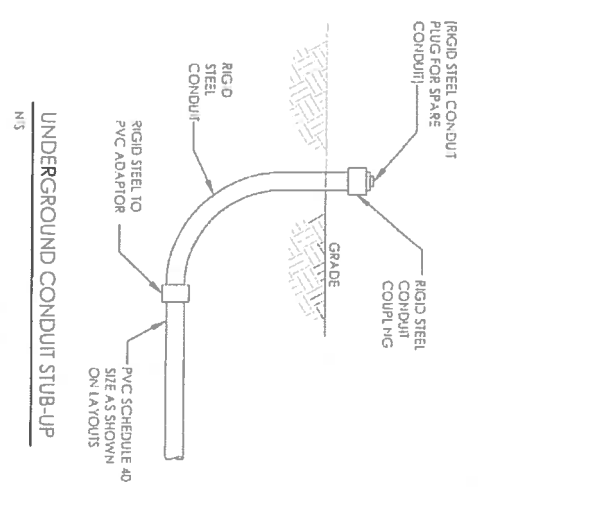
ELECTRICAL & GROUNDING SITE PLAN
SCALE: 1" = 5'

ALL EXTERIOR #2 AWG TINED GROUND LEADS ABOVE GRADE SHALL BE ENCASED IN RENT & CRAMPED TO DETER THEFT.



CONDUIT SITE TYPE QUANTITY AND SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS

DIRECT BURIED CONDUIT
N/S



PRICEMILL ROAD
NEAR PRICEMILL ROAD
BISHOP, GA 30621
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DESIGNED BY: CTW
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CHECKED BY: PWM

331
VWTB-056

DETAILED GROUNDING SITE PLAN

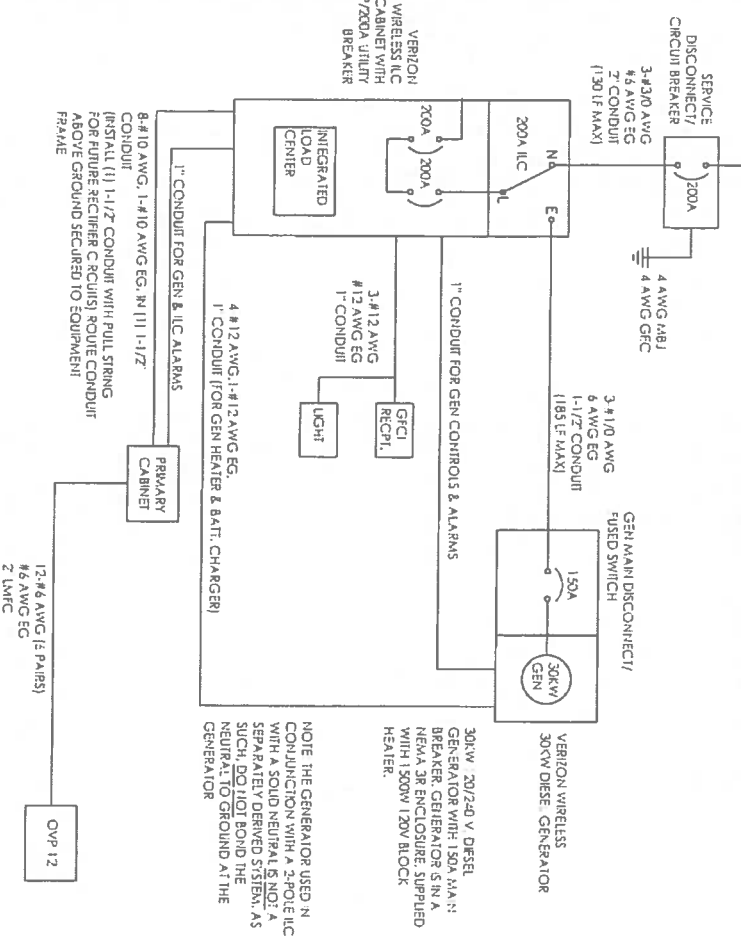
E-3

COMMON VZW DC PLANT RECIFIER REQUIREMENTS			
RECIFIER	INPUT FLA CURRENT AT 240 VAC (EACH RECIFIER)	2 REC / BRANCH CIRCUIT (REFERENCED APPROACH)	1 REC / BRANCH CIRCUIT (ALT APPROACH)
GE 7.5k (NRO) 240VAC de-energ or siml	22 AMPS (MAX)	50A/2P #6 THHN	30A/2P #10 THHN

LOAD CALCULATION	
LOAD	AMPS
PROPOSED LOAD:	123.0
TOTAL DEMAND:	129.0
VOLTAGE: 120V/240V SINGLE PHASE 3W 200A	

PANEL NAME:	VZW ILC	MODEL NUMBER:	INTERSECT
240	120	MS0005-1PH-3R	1 3
VOLTAJE:	200	PHASE/WIRE:	200
MAIN BREAKER:	AMPS	BUS RATING:	NEUTRAL
ENCLOSURE:	SURFACE	BAR:	YES
TYPE:	NEMA 3R	AUC:	6SK
POS	USAGE	POS	LOAD
1	1	1	1
2	1	2	2
3	1	3	3
4	1	4	4
5	1	5	5
6	1	6	6
7	1	7	7
8	1	8	8
9	1	9	9
10	1	10	10
11	1	11	11
12	1	12	12
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22	1	22	22
23	1	23	23
24	1	24	24
25	1	25	25
26	1	26	26
27	1	27	27
28	1	28	28
29	1	29	29
30	1	30	30
SUB TOTAL AMPS:		36	36
FACTORED TOTAL:		129.25	123

D. PANEL SCHEDULE AND SINGLE LINE DIAGRAM REPRESENT A SITE WITH A NEW GE POWER PLANT, 30 KW DIESEL GENERATOR, AND TWO SOURCE ILC (THREE SOURCE ILC OPTIONAL AS NEEDED). ADJUST AS NECESSARY PER LOCAL SITE CONDITIONS.



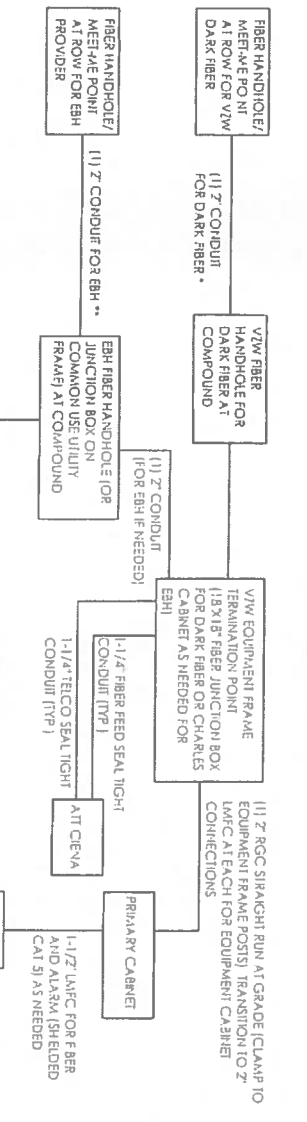
- NOTES:**
1. ALL EQUIPMENT SHALL BE NEMA 3R RATED.
 2. ALL EQUIPMENT SHALL BE LIGHTNING PROTECTED IN ACCORDANCE WITH N.A. 222-G AND VERIZON CONSTRUCTION STANDARDS.
 3. CONDUIT SIZES AND DISTANCES HAVE BEEN SIZED FOR 3% MAX VOLTAGE DROP (TOTAL SYSTEM VOLTAGE DROP ON BOTH FEEDERS AND BRANCH CIRCUITS TO THE FARTHEST DEMAND SHALL NOT EXCEED 5%).
 4. WIRE SIZING AND MAXIMUM DISTANCE FROM GENERATOR TO ILC ASSUMES POWER FACTOR OF 0.9.
 5. BELOW GRADE CONDUIT SHALL BE SCHEDULE 40 PVC ABOVE GRADE CONDUIT SHALL BE RIGID CONDUIT. ALL BENDS SHALL HAVE A MINIMUM 24" RADIUS. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. VERIFY CONDUIT TYPE WITH LOCAL CONSTRUCTION MANAGERS AND ADJUST IF NECESSARY. ALL CONDUIT SHALL MEET NEC, STATE, AND LOCAL CODE REQUIREMENTS AS REQUIRED.

ELECTRICAL SINGLE LINE DIAGRAM
SCALE: NTS

NOTES:

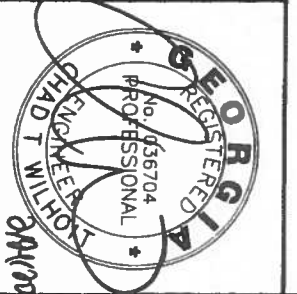
1. ALL CONDUCTORS ARE TYPE THWN (75°C) COPPER.
2. MAXIMUM LENGTH OF RUN FOR RECIFIER CIRCUITS IS 50 FT.
3. INTERSECT/GENERATOR INTEGRATED LOAD CENTER INCLUDES 200 AMP MAIN DISCONNECT AND TRANSFER SWITCH FOR RECIFIER OR PERMANENT GENERATOR.
4. RECIFIER LOADS ARE CONSIDERED TO BE NON-CONTINUOUS.
5. IF ADDITIONAL FUTURE LOADS ARE ANTICIPATED, TOTAL DEMAND TO EXCEED GENERATOR BREAKER SIZE, BACKUP POWER SYSTEM SHALL BE EVALUATED AND UPGRADED AS NECESSARY.

PANEL SCHEDULE



FIBER SINGLE LINE DIAGRAM

- NOTES:**
1. ADDITIONAL 2" CONDUIT FOR DARK FIBER (2 TOTAL) IS REQUIRED BY LOCAL MANAGER FACILITIES. VERIFY PRIOR TO CONSTRUCTION. (ADD 2 PULL STRINGS TO VERIFY END REQUIREMENTS WITH TESCO PROVIDER PRIOR TO CONSTRUCTION) (ADD 2 PULL STRINGS TO EACH CONDUIT)



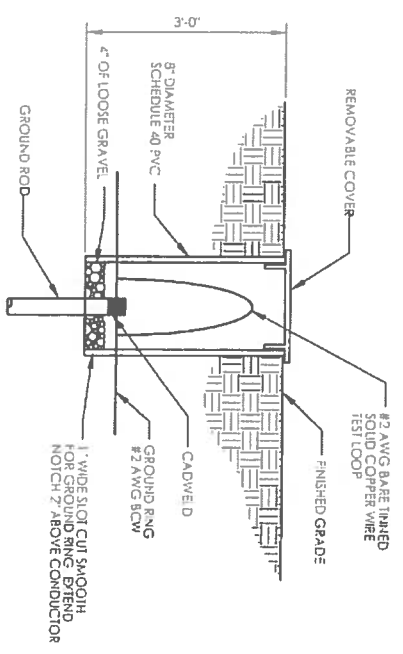
ELECTRICAL RISER & ONE-LINE DIAGRAM
E-4

Verizon
P. MARSHALL & ASSOCIATES

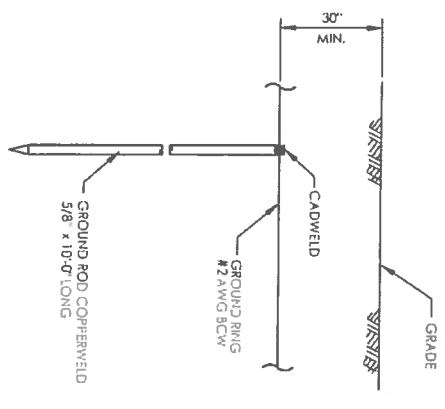
PRICEMILL ROAD
NEAR PRICEMILL ROAD
BISHOP, GA 30621
LOCATION CODE:
500319

NO.	DATE	DESCRIPTION
0	2/17/2020	PRELIM ISSUE
1	2/24/2020	CONSTRUCTION & PERMIT ISSUE

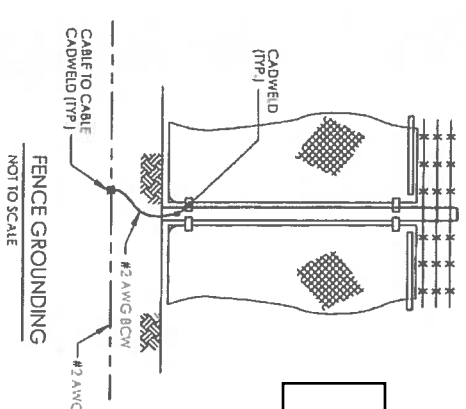
DESIGNED: CTW
DRAWN: CTW
CHECKED: PWM
PROJECT: VV18-056



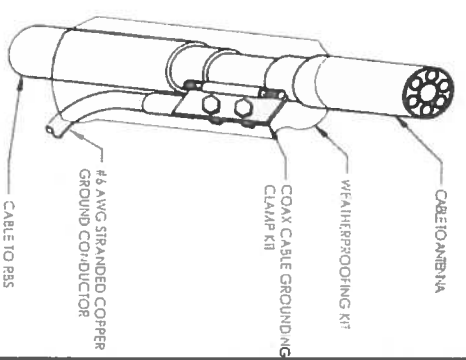
GROUND ROD INSPECTION WELL
NOT TO SCALE



GROUND ROD DETAIL
NOT TO SCALE

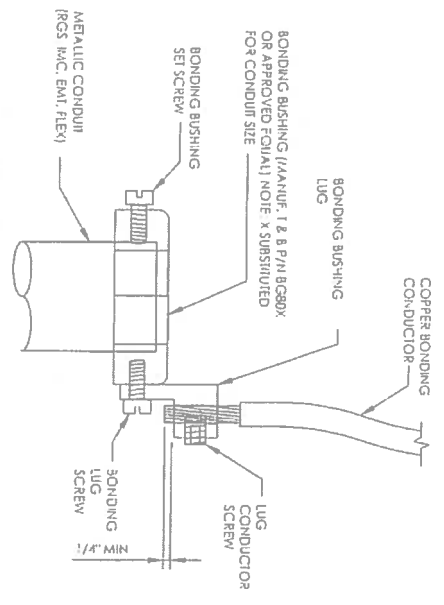


FENCE GROUNDING
NOT TO SCALE



COAX CABLE GROUNDING KIT
NOT TO SCALE

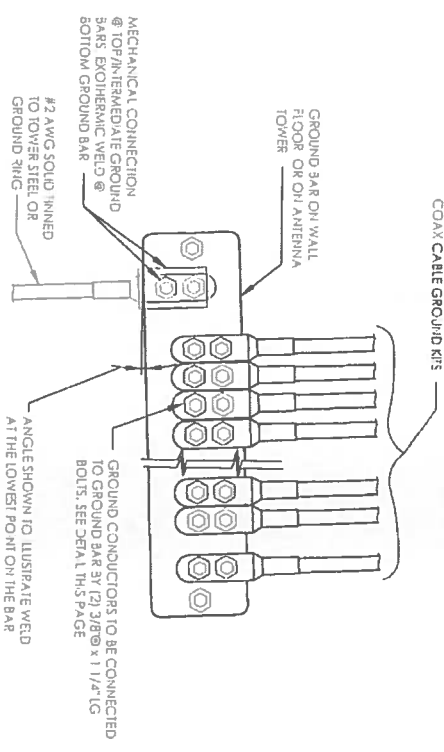
- NOTES:**
- DO NOT INSTALL CABLE GROUND KIT AT A BEND.
 - ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR
 - GROUNDING KIT & WEATHER PROOFING KIT SHALL BE TYPE & PART # AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER



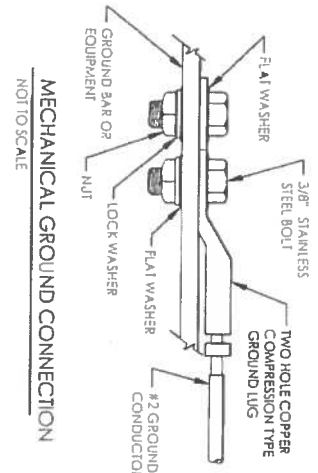
CONDUIT BOND/GROUND BUSHING
N/S

- DIRECTIONS:**
- MOUNT BONDING BUSHING ONTO CONDUIT
 - TIGHTEN BOND BUSHING SET SCREW
 - INSERT COPPER CONDUCTOR INTO LUG
 - TIGHTEN LUG CONDUCTOR SCREW
 - TIGHTEN BONDING LUG SCREW

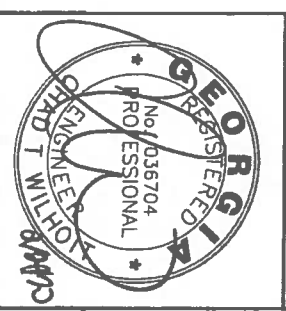
NOTE: BONDING BUSHING, SET SCREW, LUG LUG SCREW, CONDUCTOR, LUG SCREW, SHOWN AS COMPLETE UNIT.



INSTALLATION OF GROUND WIRE TO COAX CABLE GROUND BAR
N/S



MECHANICAL GROUND CONNECTION
NOT TO SCALE



P. MARSHALL & ASSOCIATES

PRICEMILL ROAD

NEAR PRICEMILL ROAD
BISHOP, GA 30621

LOCATION CODE:
500319

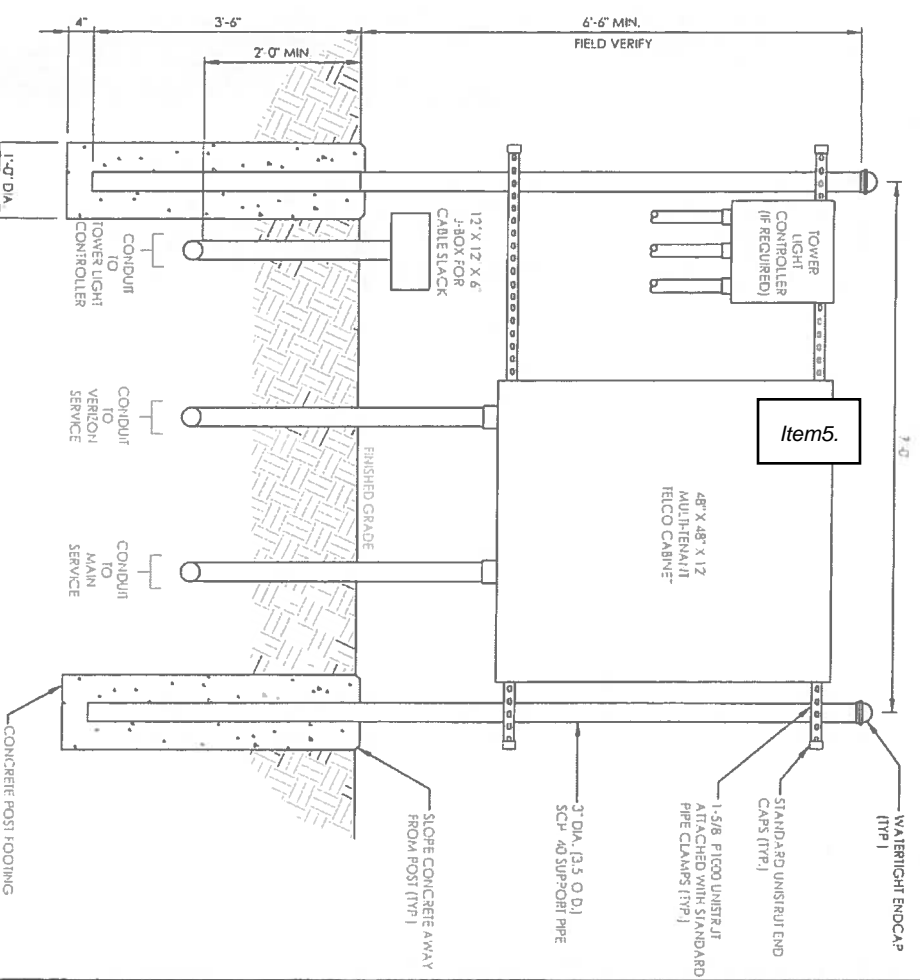
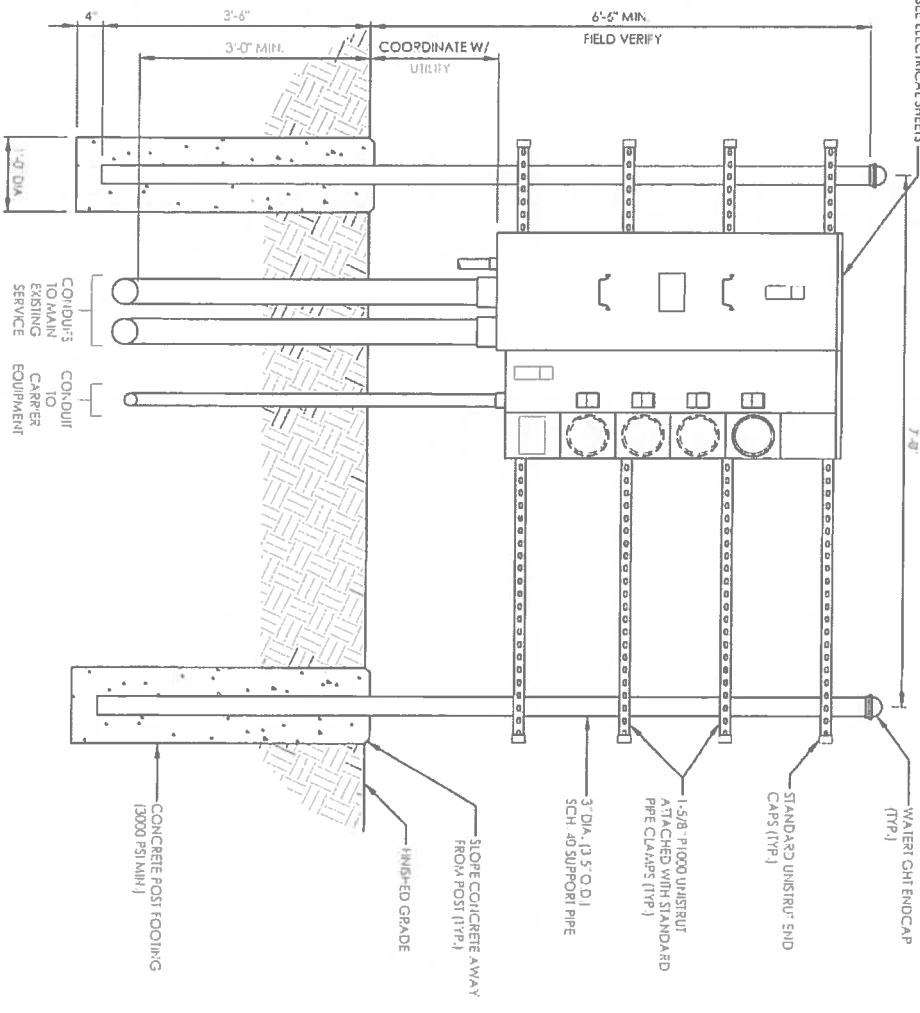
NO	DATE	DESCRIPTION
0	2/17/2020	REVISION
1	2/24/2020	CONSTRUCTION & PERMIT ISSUE

DESIGNED BY:	CTW	DATE:	02/1
DRAWN BY:	CTW		
CHECKED BY:	PWM		VW/18-056

GROUNDING DETAILS

E-5

4-GANG METER PANEL INSTALLED BY CONTRACTOR. COORDINATE WITH UTILITY COMPANY FOR MANUFACTURER AND MODEL. SEE ELECTRICAL SHEETS



MULTI-TENANT
METER FRAME DETAIL

- NOTES
1. CONTRACTOR SHALL FIELD LOCATE THE METER PEDestal AS SHOWN ON SITE PLAN. INSTALL THE METER PEDestal NEAR THE PERIMETER OF THE FENCED COMPOUND WITH THE METERS FACING AS SHOWN.
 2. SUPPORT POST AND UNISTRUT SHALL BE GALVANIZED OR STAINLESS STEEL.
 3. ADJUSTMENTS TO THE METER PEDestal DESIGN MAY BE REQUIRED DEPENDING ON THE EXACT METER PANEL, INSTALLED. CONTRACTOR SHALL FIELD COORDINATE ADJUSTMENTS AND INFORM THE ENGINEER IF ANY UNUSUAL CONDITIONS ARE FOUND TO EXIST.
 4. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL POWER COMPANY FOR THE CONDUIT RUN VERION MEF POINT.
 5. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR GROUND ROD REQUIREMENTS, IF REQUIRED. THE CONTRACTOR SHALL PAY FOR NECESSARY GROUND TESTS.
 6. THE PROPOSED TELCO CABINET SHALL BE A 48\"/>



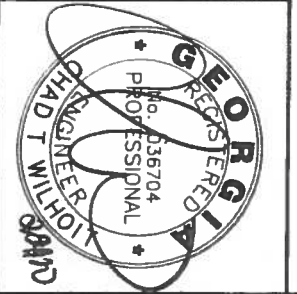
PRICEMILL ROAD

NEAR PRICEMILL ROAD
BISHOP, GA 30621

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CHECKED BY	PWM	VW18-056



UTILITY
H-FRAME DETAILS
E-6



STAFF REPORT

MORGAN COUNTY PLANNING COMMISSION

PETITION FOR: ZONING MAP AMENDMENT

Property location: Eatonton Highway
Property tax parcel: 046-005B
Acreage: 31.39 acres
Applicant: Chadwick H. and Ana R. Spinks
Applicant's Agent: N/A
Property Owner: Hard Labor Properties, LLC, 1016 Dixie Highway, Madison
Existing Zoning: AG (Agricultural)
Proposed Zoning: C2 (General Commercial)

Summary



Chadwick H. and Ana R. Spinks are requesting a Zoning Map Amendment for 31.39 acres on Eatonton Highway between Farmview and Country Boys RV Park and nearly across the highway from Madison Lakes subdivision. The applicant submitted an address of 2630, however, that address goes with the adjacent house.



The property is currently zoned Agricultural (AG) (darker green). The applicant is seeking General Commercial (C2) with the intention of building an ACE Hardware on the property. The applicant currently owns ACE Hardware stores in other locations. The property adjacent to the subject parcel, touching in the back part of the property, is zoned C2 (pink). This is Farmview. One the other side of Farmview of the strip center owned by JB Conrads. Approval of the application would leave a 5 acre parcel zoned AG between the two larger parcels zoned C2.



The Character Area Map in the Morgan County Comprehensive Plan shows the property designated as a Regional Activity Center. There are two Regional Activity Centers, one here and one near the location of the Georgia Safari and Conservation Park. They were designed because it was anticipated that Farmview and the Safari would encourage development. Please see the attached description of Regional Activity Centers from the Morgan County

Comprehensive Plan.

Municipal water from the City of Madison is run to Madison Lakes subdivision and also serves Farmview. Farmview is also tied to the wastewater treatment package plant at Madison Lakes, which is operated by Morgan County. Water would be available to this property as well, and wastewater service is possible.



The front portion of the property has been used agriculturally, including for cows and hay crops. The back portion of the property contains an approximately 3.5 acres lake. The proposed ACE Hardware development should not impact the lake. However, water quality must be considered when future commercial uses are proposed. According to the applicant, there are currently no plans regarding development of the remainder of the property.

Criteria for Consideration

(Please note that the criteria below are bulleted in the Morgan County Zoning Ordinance, Section 19.3.1. They are numbered here for ease of use.

1. **Compatibility with Adjacent Uses and Districts:** Existing uses and use districts of surrounding and nearby properties, whether the proposed use district is suitable in light of such existing uses and use districts of surrounding and nearby properties, and whether the proposal will adversely affect the existing use or usability of adjacent or nearby properties.
2. **Property Value:** The existing value of the property contained in the petition under the existing use district classification, the extent to which the property value of the subject property is diminished by the existing use district classification, and whether the subject property has a reasonable economic use under the current use district.
3. **Suitability:** The suitability of the subject property under the existing use district classification, and the suitability of the subject property under the proposed use district classification.
4. **Vacancy and Marketing:** The length of time the property has been vacant or unused as currently used under the current use district classification; and any efforts taken by the property owner(s) to use the property or sell the property under the existing use district classification.
5. **Evidence of Need:** The amount of undeveloped land in the general area affected which has the same use district classification as the map change requested. It shall be the duty of the applicant to carry the burden of proof that the proposed application promotes public health, safety, morality or general welfare.
6. **Public Facilities Impacts:** Whether the proposal will result in a use, which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, schools, parks or other public facilities and services.
7. **Consistency with Comprehensive Plan:** Whether the proposal is in conformity with the policy and intent of the locally adopted comprehensive plan.
8. **Other Conditions:** Whether there are any other existing or changing conditions affecting the use and development of the property that give supporting grounds for either approval or disapproval of the proposal.

Staff Comments

The requesting zoning appears to be consistent with the Comprehensive Plan. If approved, the request will isolate an AG zoned parcel between two C2 zoned parcels, but this is similar to a request in the City of Rutledge last year when the successful rezoning of a parcel to Rutledge AR isolated a small residentially zoned parcel.

**LETTER ADDENDUM TO
APPLICATION FOR ZONING MAP AMENDMENT TO
THE MORGAN COUNTY PLANNING COMMISSION**

September 03, 2020

Morgan County Planning Commission
150 E. Washington Street, Suite 200
Madison, Georgia 30650

RE: Letter of Intent to rezone property at 2630 Eatonton Hwy., Madison, GA

Dear Planning Staff,

This letter serves as an addendum of the application of Chadwick H. Spinks / Ana R. Spinks to rezone the property held by Hard Labor Properties, LLC in order to facilitate a pending sale of the property. The pending sale is conditional on changing the zoning of the property to Commercial use to support the build and operation of an Ace Hardware store. We are asking for the zoning to be changed to Commercial (C2) Use District.

The applicant currently owns three (3) Ace Hardware stores located in Athens, Watkinsville, and Lawrenceville and is seeking to build a new store in Madison on the subject property.

The store would be family owned and operated. This project would bring in approximately 12 – 15 new jobs to the Morgan County area, as well as the construction jobs associated with the build. Ace Corporate has performed a preliminary sales forecast of the area and deemed this site as a good location for a new store.

Please see below the details for rezoning this property.

- The adjacent property on the north side is the Farmview Market which is zoned General Commercial. The vacant property on the south side is zoned Agricultural but the Cowboy Campground adjacent to that property on the south side is zoned Commercial. The property located across the Eatonton Hwy. is zoned Commercial. In addition, the future zoning map has the proposed site under the future Commercial designation.
- We believe that an Ace Hardware store on the proposed site will not only integrate well with current neighbors and future use designations, but it will also increase the property values around it with additional development demand. With this property located on Eatonton Hwy., it lends itself to the Commercial development zoning.
- With this property approximately 1.3 miles from the I-20 corridor and the existing use of the neighboring properties, it is a suitable candidate for a Commercial designation. Given that the Georgia DOT plans to widen Eatonton Hwy. to a four-lane road, it further increases the suitability of this property to be rezoned from Agricultural to Commercial.

- This property was purchased in September of 2019 by the existing owner, Hard Labor Properties, LLC, and to our knowledge, there have been no changes or improvements to the property since that sale. Prior to that, the property was owned by the Bidy Family dating back to the early 1900's. The property just north, owned by Farmview Market since 2015, was also part of this tract. The Bidy Family utilized the property as a farm until the recent sales.
- We do not anticipate the increase in demand would have any adverse effect on the existing water and gas available at this site. We expect the traffic to remain similar to how it is today with the exception of 3 or 4 delivery trucks arriving during the week to delivery inventory. The Ace warehouse and third-party vendors will deliver by truck. We don't anticipate any disruption to the schools in the surrounding area or the traffic in that area.
- Since this property is designated Commercial in the future zoning map, we feel that Ace Hardware is a great fit for the plan put forth by the planning committee.

Thank you for your consideration of our rezoning request. If you have any questions or need additional information, please feel free to contact Chad at 770-356-2160 or by email at chad.spinks.ace@att.net.

Sincerely,



Chadwick H. Spinks / Ana R. Spinks

Regional Activity Center



Regional destinations for residents and visitors that include a mix of entertainment and educational facilities, commercial uses, and high-density residential.

Character Area Location

Unincorporated Morgan County – Southwest of the I-20 and Highway 83 interchange and US-441 at Mission Road

Development Patterns

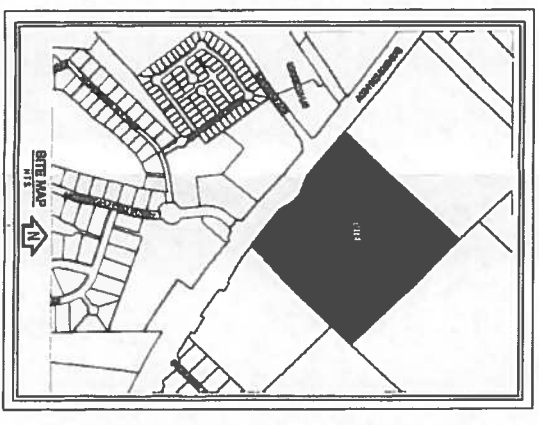
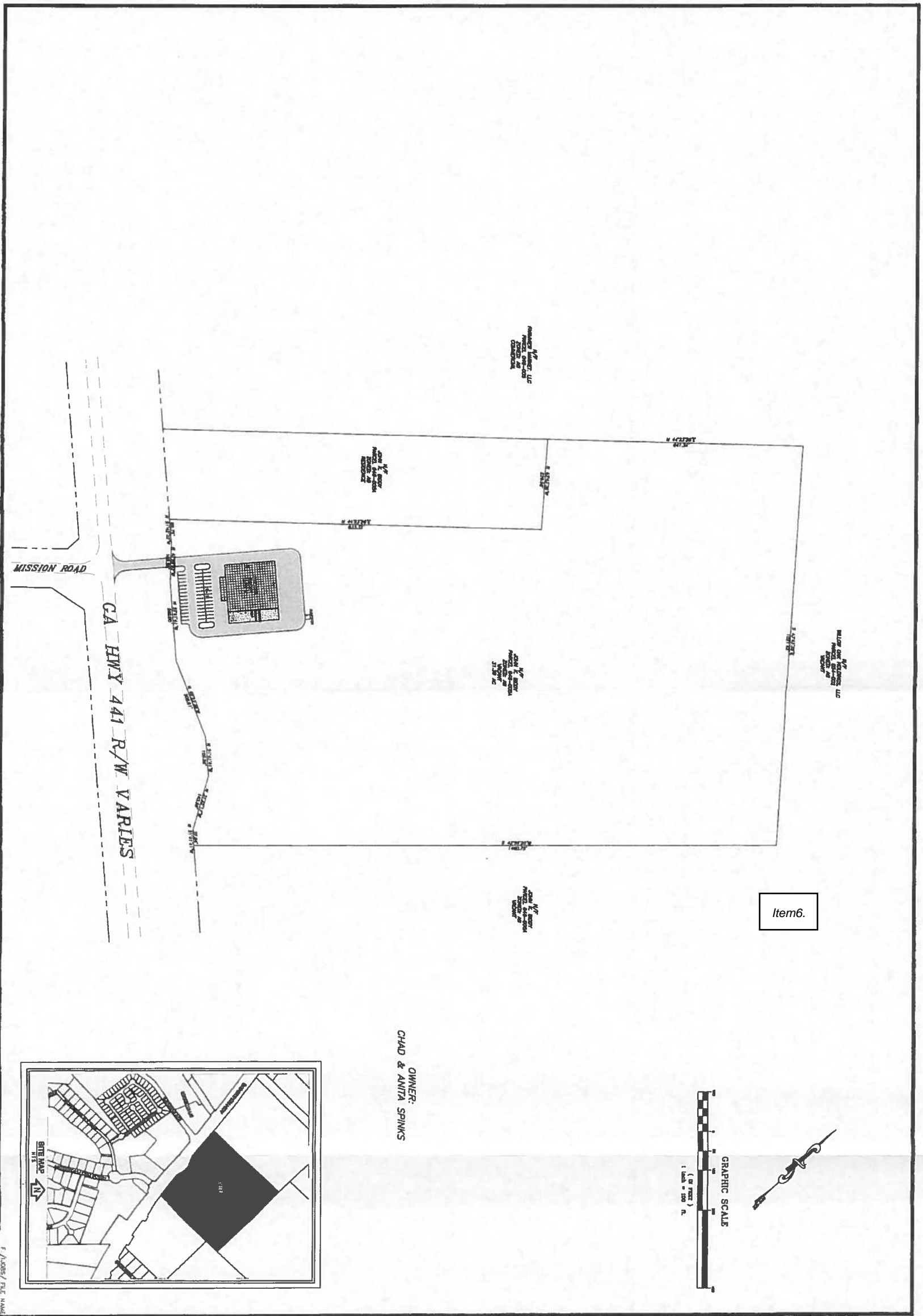
- Destination facilities with intense pedestrian activity
- Civic and cultural uses
- Commercial uses: primarily specialty retail, hospitality, restaurants, and professional offices
- High vehicular traffic
- Attached multifamily housing
- Landscaping, streetscaping, and buffers

Primary Land Uses

- Mixed-use
- Commercial
- Residential – high density

Implementation Strategies

- Master planning that addresses ingress, egress, parking, and connectivity to neighboring sites
- Pedestrian-oriented design with walkable connections between different uses
- Compatible architectural styles that maintain regional character
- Explore joint marketing endeavors to support local heritage and agritourism

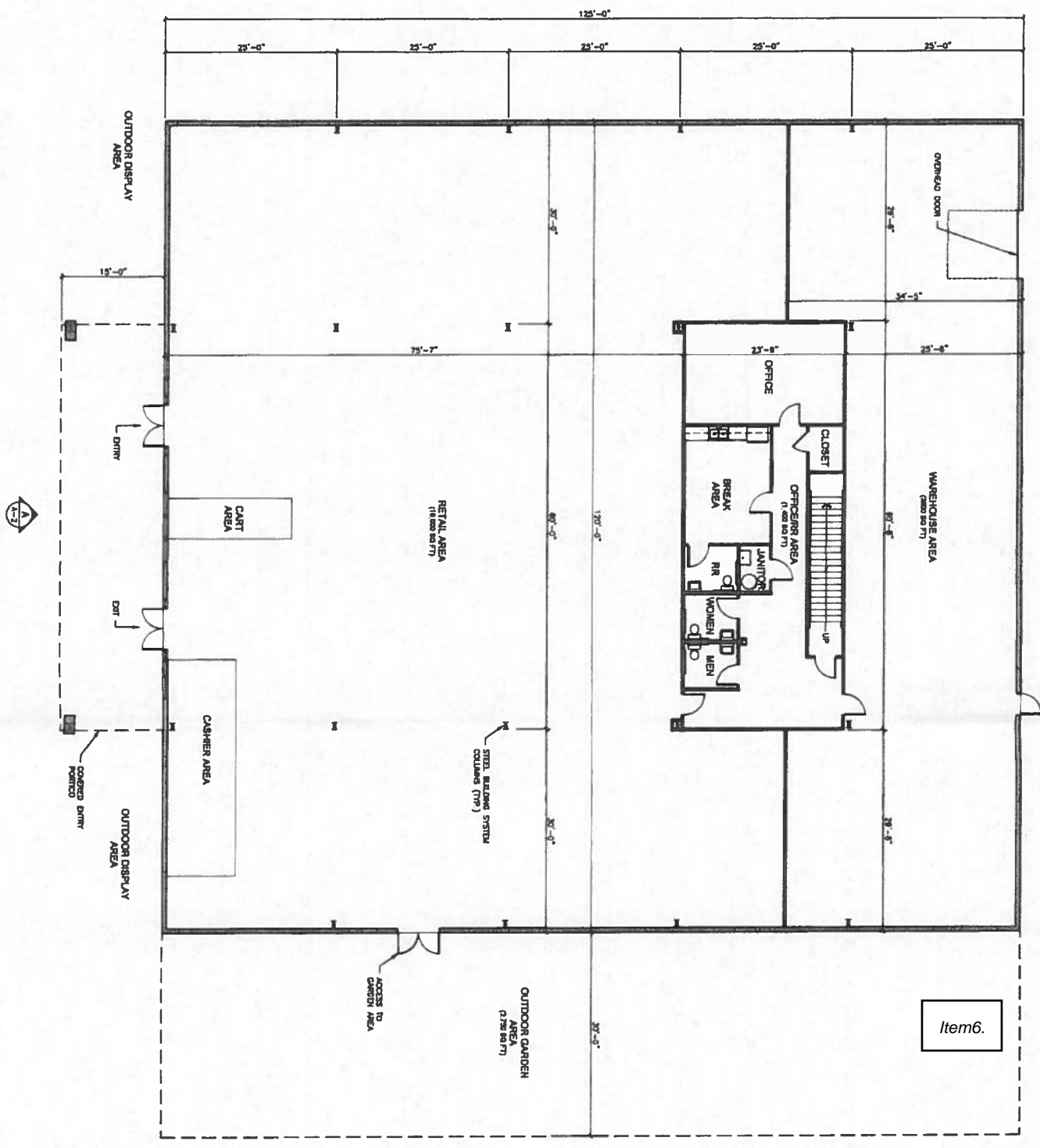


Sheet No. C-1	ACE HARDWARE HWY 441 MADISON, GEORGIA	Sheet Title CONCEPT PLAN	HOUSTON ENGINEERING, INC. CONSULTING & DESIGN ENGINEERS 1404 VETERANS DRIVE, SUITE 2, CONYERS, GEORGIA 30012 PHONE: (770)781-1280 FAX: (770) 781-1281
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CONCEPT ONLY
NOT FOR CONSTRUCTION

THIS INFORMATION AND ASSOCIATED DOCUMENTATION IS PROPERTY OF STEELCO BUILDINGS, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF STEELCO BUILDINGS, INC.

OVERALL BUILDING FLOOR PLAN
SCALE 1/8" = 1'-0"



THIS INFORMATION AND ASSOCIATED DOCUMENTATION IS PROPERTY OF STEELCO BUILDINGS, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF STEELCO BUILDINGS, INC.

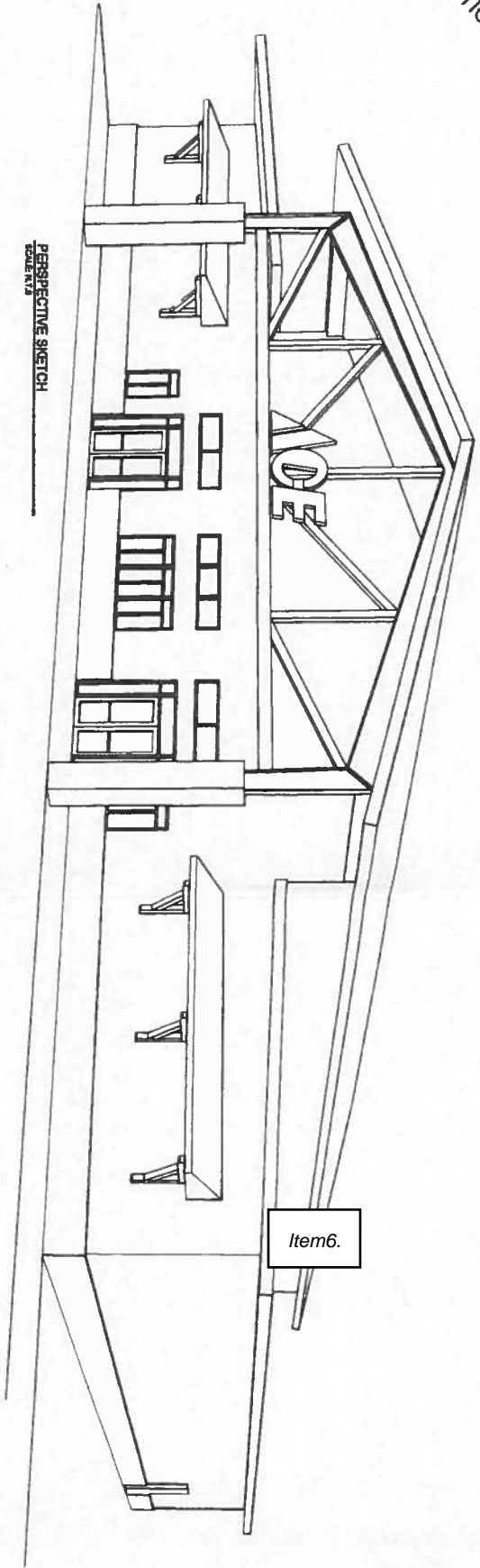
CONCEPT ONLY
NOT FOR CONSTRUCTION

SCALE	AS SHOWN
PROJECT NO.	000
DATE	04-2020
SHEET	A-1

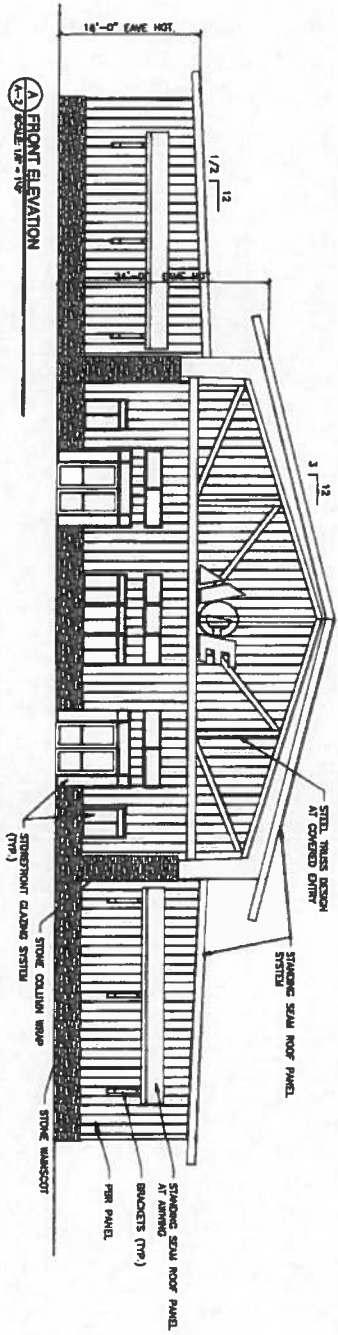
SHEET TITLE		CONCEPTUAL PLAN	
PROJECT NAME & LOCATION		HARDWARE STORE CONCEPT for Chad & Anita Spinks	
Morgan County, Georgia			
NO.	DATE	DESCRIPTION	BY

SteelCo
BUILDINGS, INC.
PO Box 1447 • Covington, GA 30015
ph 678-212-2190
www.steelcobuildings.com

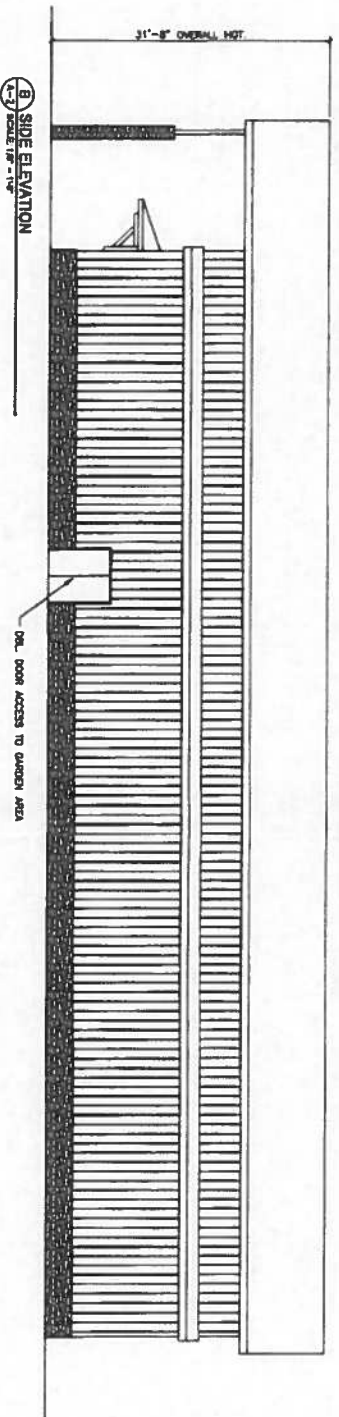
CONCEPT ONLY
NOT FOR CONSTRUCTION



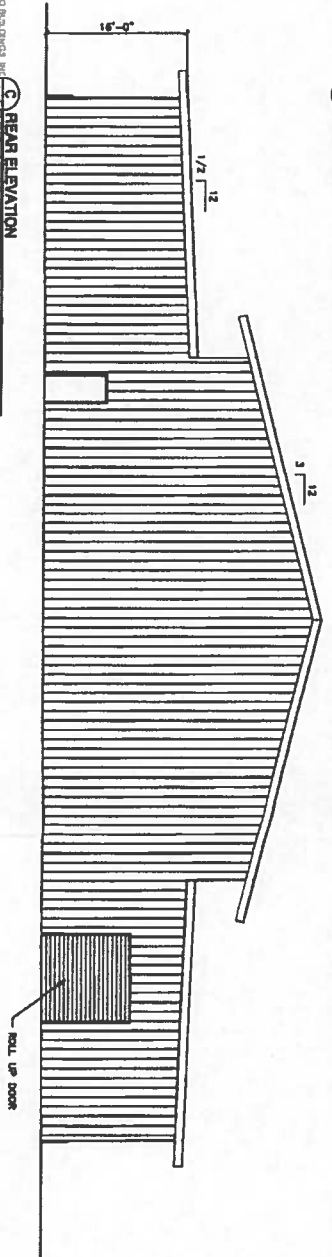
PERSPECTIVE SKETCH
SCALE: 1/4" = 1'-0"



A FRONT ELEVATION
SCALE: 1/2" = 1'-0"



B SIDE ELEVATION
SCALE: 1/2" = 1'-0"



C REAR ELEVATION
SCALE: 1/2" = 1'-0"

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CONCEPT ONLY
NOT FOR CONSTRUCTION

DATE	04-2000
BY	KMB
PROJECT NO.	000
SCALE	AS SHOWN
SHEET	A-2

SHEET TITLE
CONCEPTUAL ELEVATIONS AND PERSPECTIVE

PROJECT NAME & LOCATION
**HARDWARE STORE CONCEPT
for Chad & Anita Spinks**

Morgan County, Georgia

NO.	REVISION	DATE	DESCRIPTION

SteelCo
BUILDINGS, INC.

PO Box 1447 • Covington, GA 30015
ph 878-212-2190
www.steelcobuildings.com



MORGAN COUNTY AGENDA REQUEST

Department:

Presenter(s):

Meeting Date: mm/dd/yyyy

Type of Request:

Wording for the Agenda:

Background/History/Details:

The Fire Department has requested a new set of edraulic extrication tools. The edraulic tools require no hoses or power unit. They are also stronger, smaller, lighter and easier to use. The new tools are necessary to begin the replacement older and less effective hydraulic tools. There are sufficient funds in the capital project fund for the purchase. Chief Stone obtained 3 bids and recommends the purchase of Hurst tools from MES for \$29,284.

What action are you seeking from the Board of Commissioners?

If this item requires funding, please describe:

Has this request been considered within the past two years?

If so, when?

Is Audio-Visual Equipment Required for this Request?*

Backup Provided with Request?

*** All audio-visual material must be submitted to the County Clerk's Office no later than 48 hours prior to the meeting. It is also your department's responsibility to ensure all third-party audio-visual material is submitted at least 48 hours in advance.**

Approved by Finance

Approved by Purchasing

Manager's Approval

Staff Notes:

MES

MUNICIPAL EMERGENCY SERVICES

6701-C Northpark Blvd
Charlotte, NC 28216

Quote

Date 10/15/2020
Quote # OT1411162
Expires 11/14/2020
Sales Rep Strickland, Shawn
PO #
Shipping Method FedEx Ground

Bill To
MORGAN CO BOARD OF COMMISSIONERS
P.O. BOX 168
MADISON GA 30650
United States

Ship To
Chief Jeff Stone
MORGAN CO FIRE RESCUE
1380 MONTICELLO ROAD
MADISON GA 30650
United States

Item	Alt Item	Unit	Description	Qty	Unit Price	Amount
272788000			S 788E2 Package (includes S 788E2, charger, and 2 EXL batteries)	1	9,987.86	9,987.86
271555000			SP 556E2 Spreader Package w/ charger and 2 EXL batteries	1	11,028.79	11,028.79
274085000			R 421E2 Ram Package (includes R 421E2 Ram, charger, and 2 EXL batteries)	1	7,720.57	7,720.57
272085412			Hurst 110v E2 Pwr Supply w/Pig Demo Unit	1	546.83	546.83
Subtotal						29,284.05
Shipping Cost (FedEx Ground)						0.00
Total						\$29,284.05

Customer Pays Actual Freight Charges When Items Ship

This Quotation is subject to any applicable sales tax and shipping & handling charges that may apply. Tax and shipping charges are considered estimated and will be recalculated at the time of shipment to ensure they take into account the most current local tax information.

All returns must be processed within 30 days of receipt and require a return authorization number and are subject to a restocking fee.

Custom orders are not returnable. Effective tax rate will be applicable at the time of invoice.





Sales Quote

Page: 1

Sales Quote Number: SQ12752
Sales Quote Date: 10/14/2020

Customer ID: MORGAN
SalesPerson: VAN ROBERTS
Email: vroberts@ten8fire.com
Ten-8 Contact: Jerry Turner
Email: jturner@ten8fire.com

IN SERVICE TO SERVE YOU

Ten-8 Fire & Safety Equip of GA
1591 Collier Road
Forsyth, GA 31029
Phone : 1-478-994-3235
Fax : 1-478-994-6458

Sell To :

MORGAN COUNTY FIRE DEPT
1380 MONTICELLO ROAD
MADISON, GA 30650

Ship To :

MORGAN COUNTY FIRE DEPT
1380 MONTICELLO ROAD
MADISON, GA 30650

Payment Terms : Due Upon Receipt Of
Product Or Service

Ship Via :

Item No.	Description	Unit	Quantity	Selling Pric	Total Price
SRT-TNT-EBFC-320-D	7-3/4 BRUTE FORCE C-CUTTER M28,	EACH	1	9,845.00	9,845.00 ✓
SRT-TNT-ESLC-24-D	DUAL M28V 5" C-CUTTER	EACH	1	8,475.00	8,475.00 ✓
SRT-TNT-ESL-28-D	DUAL M28V 28" SUPER LIGHT SPREADER	EACH	1	9,750.00	9,750.00 ✓
SRT-TNT-ESL-24-D	DUAL M28v 24" SUPER LIGHT SPREADER **ABOVE COMES WITH** DUAL BATTERY OPTS. INCL.4-M28 BATTs./2 CHARGERS	EACH	1	9,640.00	9,640.00 ✓
SRT-TNT-ER-40	M28 VOLT 40" RAM	EACH	1	6,145.00	6,145.00 ✓
SRT-TNT-ETLS-40	M28v 40" TELESCOPING RAM **ABOVE COMES WITH** DUAL BATTERY OPTS. INCL.4-M28 BATTs./1 CHARGER	EACH	1	7,205.00	7,205.00 ✓
SRT-TNT-570097	M28v 3 BANK CHARGER	EACH	1	290.00	290.00 ✓
SRT-TNT-570061	M28v BATTERY	EACH	1	295.00	295.00 ✓
FRT	FREIGHT CHARGES	EACH	1	165.00	165.00 ✓

27,255

Amount Subject to Sales Tax 0
Amount Exempt from Sales Tax 51,810.00

Subtotal: 51810
Invoice Discount: 0.00
Total Sales Tax: 0.00

Total: 51,810.00

This Quote is valid until 11/13/20

All returns must be initiated within 30 days of receipt of product and will be charged a restocking fee. Contact your sales representative to receive a Return Materials Authorization. Special order parts are not returnable. Full terms and conditions for returns can be found on our website at www.ten8fire.com/returns.

Item 7

Georgia Fire & Rescue Supply

(770) 479-5495 • (866) 479-5495
 www.georgiafirerescue.com
 602 Water Tank Road
 Canton, GA 30115

3% fee added to purchase
 made with credit card on totals
 \$3000 or more

Quote

Quote Number
 101420-05JL

Quote Date
 Oct 14, 2020

Page:
 1

Quoted to:

Morgan County Fire Rescue
 P.O. Box 168
 Madison, GA 30650
 USA

Morgan County Fire Rescue
 1640 Mission Road
 Madison, GA 30650
 USA

Customer ID	Good Thru	Payment Terms	Sales Rep	
Morgan Co Fire Rescu	11/13/20	Net 30 Days	Lamanac, Jason	
Quantity	Item	Description	Unit Price	Extension
1.00159.000.063		PCU 50 Cutter	10,222.00	10,222.00
1.00159.000.064		PSP40 Spreader	10,558.00	10,558.00
1.00159.000.062		FTR50 Telescopic Ram	8,515.00	8,515.00
1.00151.000.804		TRE03 Extension Pipe	817.00	817.00
6.00151.000.583		PBPA287 Battery	590.00	3,540.00
3.00151.000.742		PBCH2 Battery Charger (AC-US)	470.00	1,410.00
2.00151.000.503		DCPC1 Daisy Chain Power Cord	11.00	22.00
3.00151.000.499		PCTC1 On Tool Charging Cord	83.00	249.00
1.00151.000.743		PMC2 Main Power Connector (US)	1,098.00	1,098.00
1.00151.001.164		HOLMATRO - Cross Ram Support XRS01	717.00	717.00

Subtotal	37,148.00
Sales Tax	
Freight	250.00
Total	37,398.00



MORGAN COUNTY AGENDA REQUEST

Department:

Presenter(s):

Meeting Date: mm/dd/yyyy

Type of Request:

Wording for the Agenda:

Background/History/Details:

The approved FY21 budget included the purchase of new vehicles for Tax Assessor's Office, Public Buildings, Recreation, Public Works (2), Solid Waste, and a prisoner transport van for the Detention Center. The new vehicles will be replacing current vehicles, which will be declared surplus and sold. The bid announcement is and bid summary attached. Recommend that the F150 and F250 trucks be purchased from Covington Ford for \$157,916 and the F350 van from Wade Ford for \$31,479.00

What action are you seeking from the Board of Commissioners?

Motion to purchase the F150 and F250 trucks be purchased from Covington Ford for \$157,916 and the F350 van from Wade Ford for \$31,479.00 .

If this item requires funding, please describe:

Has this request been considered within the past two years?

If so, when?

Is Audio-Visual Equipment Required for this Request?*

Backup Provided with Request?

*** All audio-visual material must be submitted to the County Clerk's Office no later than 48 hours prior to the meeting. It is also your department's responsibility to ensure all third-party audio-visual material is submitted at least 48 hours in advance.**

Approved by Finance

Approved by Purchasing

Manager's Approval

Staff Notes:

FY2021 Passenger Vehicle Purchase Bid Comparison

	2021 Ford F250 w/Service Body for Public Works	Two 2021 Ford F150 for Public Works	2021 Ford F150 For Recreation	2021 Ford F150 for Solid Waste	2021 Ford F150 for Tax Assesor	2021 Ford F350 Cargo Van for Detention Center
Allan Vigil	\$35,188.00	\$52,142.00	\$23,392.00	\$22,695.00	\$25,895.00	\$32,885.00
Covington Ford	\$35,015.00	\$52,134.00	\$22,438.00	\$22,706.00	\$25,623.00	No Bid
Wade Ford	No bid	\$52,670.00	\$22,705.00	\$22,974.00	\$24,991.00	\$31,479.00



Morgan County Board of Commissioners

P. O. Box 168
Madison, Georgia 30650

The Morgan County Board of Commissioners is seeking bids for purchase of vehicles. A W9 should be submitted with the bid. Morgan County reserves right to reject any/all bids. Bids will be reviewed for each vehicle; The County may purchase vehicles from different dealers, if it is in the best interest of the County. Bids are requested for the following seven (7) vehicles detailed below. Dealers may choose to bid on any combination or all of the vehicles.

1. Public Buildings

2021 Ford F250 Super Cab, Long Bed the following options:

- 4x4 Code F2B
- Power Windows, locks, mirrors Code 90L
- Cab Steps Code 18B
- Bed and Camera Delete Code 66D
- Spring package for bed Delete Code 63R
- Rear View Camera with bed Delete Code 872
- Oxford White Exterior Paint Code Z1
- Knapheide Service Body Model 696

2. Public Works – *Two identical trucks*

2021 Ford F150 Regular Cab with the following options:

- Long Bed Code 145
- 4X4 Code F1E
- Running Boards Code 18B
- Power Windows/Locks/Mirrors Code 101A
SYNC, Cruise
- Class IV Hitch Code 53B
- Spray in Bed Liner Code ATK
- Stone Grey Exterior Color Code D1

3. Parks and Leisure

2021 Ford F150 Regular Cab, 6.5 ft. Bed with the following options:

- Power Windows/Locks/Mirrors Code 101A
SYNC, Cruise
- Class IV Hitch Code 53B
- Spray in Bed Liner Code ATK
- Carbonized Gray Exterior Color Code M7



4. Solid Waste

2021 Ford F150 Regular Cab with the following options:

- Long Bed Code 145
- Power Windows/Locks/Mirrors Code 101A
SYNC, Cruise
- Class IV Hitch Code 189
- Spray in Bed Liner Code ATK
- Oxford White Exterior Paint Code YZ

5. Tax Assessor

2021 Ford F150 Regular with the following options:

- 4x4 Code F1E
- Running Boards Code 18B
- Power Windows/locks/mirrors Code 101A
SYNC, Cruise
- Spray in Bed Liner ATK
- Oxford White Exterior Paint Code D1

6. Detention Center

2021 Ford Cargo Van, Mid Roof, Long Wheelbase with the following options:

- T350, 9500 GVWR Code W1Y
- Dual HD Batteries Code 63E
- 110C Inverter – 400-Watt Code 90D
- Cruise Control Code 60C
- Magnetic Metallic Code J7

Submit bids to:

Mark Williams, Procurement Director
150 E. Washington Street
Madison, GA 30650

Or to mwilliams@morgancountyga.gov

Bids are due Thursday, October 29, 2020 by 5p.m.



MORGAN COUNTY AGENDA REQUEST

Department:

Presenter(s):

Meeting Date: mm/dd/yyyy

Type of Request:

Wording for the Agenda:

Background/History/Details:

The approved FY21 budget included the purchase of 9 new patrol vehicles for the Sheriff's Office. The new vehicles will be replacing current vehicles, which will be declared surplus and sold. The bid announcement is and bid summary attached. Recommend the vehicles be purchased from Hardy Chevrolet.

What action are you seeking from the Board of Commissioners?

If this item requires funding, please describe:

Has this request been considered within the past two years?

If so, when?

Is Audio-Visual Equipment Required for this Request?

Backup Provided with Request?

*** All audio-visual material must be submitted to the County Clerk's Office no later than 48 hours prior to the meeting. It is also your department's responsibility to ensure all third-party audio-visual material is submitted at least 48 hours in advance.**

Approved by Finance

Approved by Purchasing

Manager's Approval

Staff Notes:



Morgan County Board of Commissioners

P. O. Box 168

Madison, Georgia 30650

The Morgan County Board of Commissioners is seeking quotes for purchase of nine (9) patrol vehicles for the Sheriff's Office. A W9 should be submitted with the quote. Morgan County reserves right to reject any/all quotes. Cost will not be the sole factor in the selection process.

2021 Chevrolet Tahoe 2WD Police Pursuit Vehicle (9C1) with the following options:

- Center seat deleted
- Rear vinyl seats
- Vinyl floor covering
- Inoperative rear door handles/windows
- Red/white front aux. dome light
- Rear view camera
- Arges LED Spotlamp
- Grill lamp and siren speaker wiring
- 4 extra key fobs
- Shadow Gray Metallic exterior paint

Submit bids to: Mark Williams, Procurement Director
 150 E. Washington Street
 Madison, GA 30650
 Or to mwilliams@morgancountyga.gov

Patrol Vehicles for Sheriff's Office

Nine 2021 Chevrolet Tahoes

	Per Vehicle	Total Cost
Ginn Chevrolet	\$37,041.00	\$333,369.00
Hardy Chevrolet	\$37,299.00	\$335,691.00

***Ginn does not include the Arges LED spotlight**